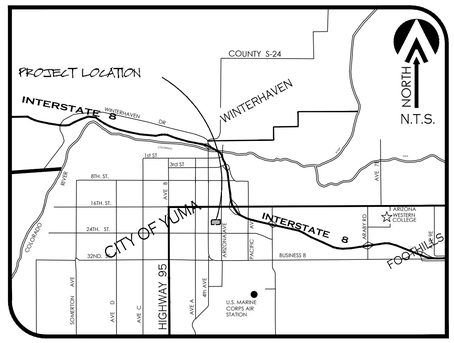
HOUSING AUTHORITY OF THE CITY OF YUMA

TENANT IMPROVEMENTS FOR
ARIZONA AVE. & 20TH STREET APARTMENT COMPLEX
YUMA, AZ 85364

SHEET INDEX:



VICINITY MAP

PROPERTY ADDRESS

1980 S ARIZONA AVE. YUMA, AZ. 85364
A.P.N. 665-44-198 , 665-44-197, 665-44-149,
665-44-150 & 665-44-151

PROPERTY OWNER

CITY OF YUMA
ONE CITY PLAZA
YUMA, AZ.85364

DESIGN TEAM

JSEE JS ELECTRICAL ENGINEERING, LLC
JOSE ELIZARRARAS, P.E.
ELECTRICAL ENGINEER
4885 W. 20th Place, Yuma,AZ 85364
Cell. (928) 941-4092
Email. joseec74@yahoo.com

VEGA & VEGA ENGINEERING PLLC
1846 S. 8th Avenue
Yuma, Az. 85364
928-329-0000 Tel
928-247-6232 Fax
VnV@vegaNvega.com
www.vegaNvega.com

DEFERRED SUBMITTALS

* PRE-MANUFACTURED WOOD TRUSS CALCULATIONS

REVIEWED FOR CODE COMPLIANCE
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ochoac on behalf of the Building Official 02/15/2023 10:50:04 AM
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VEGA & VEGA ENGINEERING PLLC
2619 S. AVE. 2½ E. Ste. 3 928-329-0000 TEL
YUMA, AZ. 85365 926-247-6232 FAX
VnV@vegaNvega.com

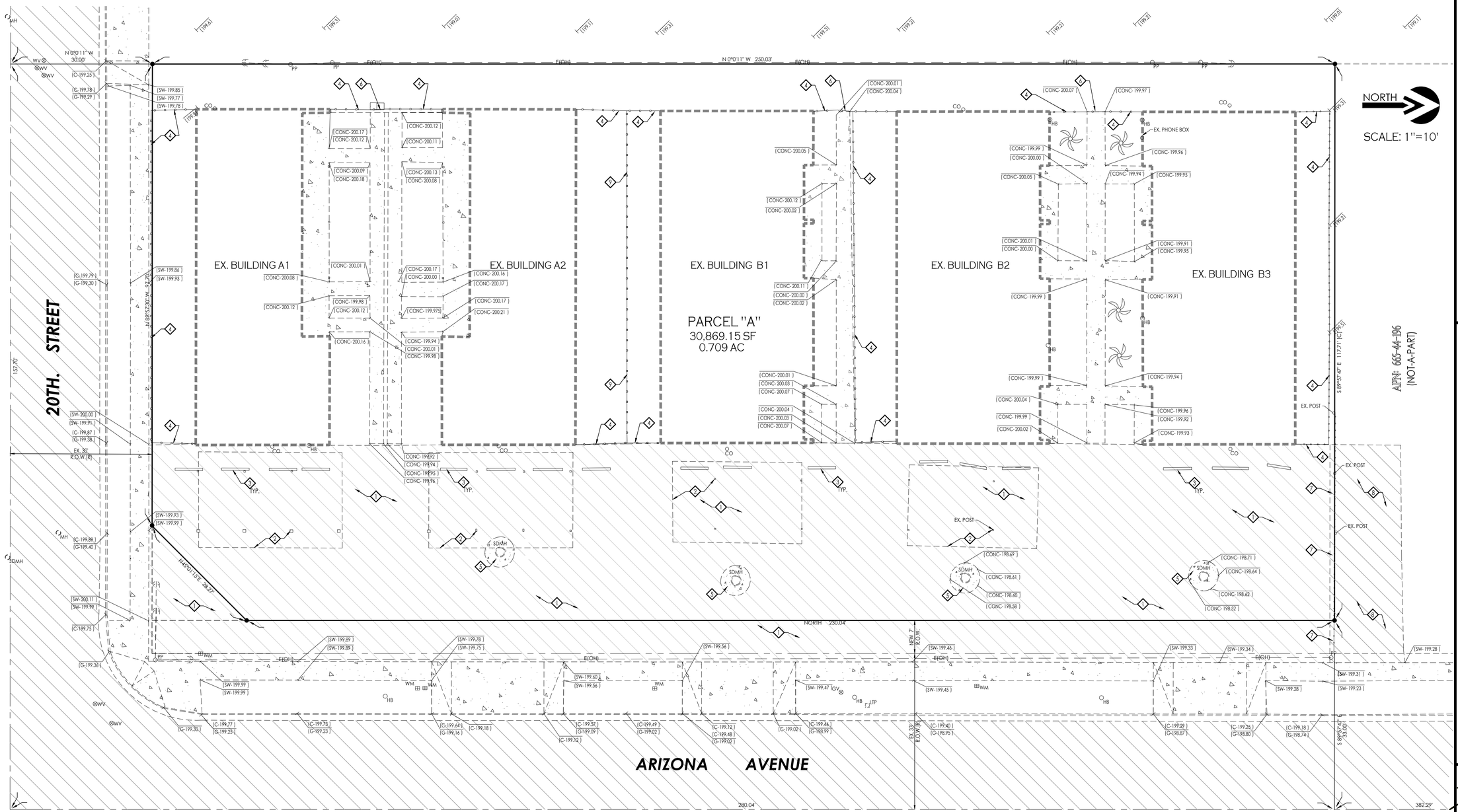
Cover Sheet
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer
CERTIFICATE NO.
50476
Vianey R.
Vega
12/13/22
Date Signed
Arizona, U.S.A.

Notes:

Scale: NTS | Date: JULY 2022
Drawn: STAFF | Job #: VnV22-500
Revised: Vna

Sheet
C0



LEGEND

- INDICATES EX. ASPHALT PAVEMENT
- INDICATES EX. CONCRETE
- INDICATES BOUNDARY LINE
- INDICATES CENTERLINE
- INDICATES RIGHT-OF-WAY LINE
- INDICATES EX. FENCE
- INDICATES EX. CMU WALL
- INDICATES EX. ELECTRICAL OVERHEAD LINE
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- INDICATES EXISTING POWER POLE
- INDICATES EXISTING GUY WIRE
- INDICATES EXISTING JUNCTION BOX
- INDICATES EXISTING SIGN
- MH INDICATES EXISTING MANHOLE
- WM INDICATES EXISTING WATER METER
- WV INDICATES EXISTING WATER VALVE

KEYNOTES:

1. REMOVE ALL EXISTING PAVEMENT IN PARKING LOT, TO BE REPLACED WITH NEW PAVEMENT
2. REMOVE EXISTING SHADE STRUCTURES (INCLUDING COLUMNS)
3. REMOVE EXISTING PARKING BUMPERS
4. EXISTING FENCE TO BE REMOVED
5. EXISTING STORMDRAIN MANHOLE AND CONCRETE RING, DO NOT DISTURB
6. EXISTING GATE TO BE REMOVED
7. SAWCUT 1' OF EX. PAVEMENT, AND REPLACE WITH NEW PAVEMENT - SEE DETAIL B/C7 (PAVEMENT REMOVAL LIMIT)
8. EXISTING PAVEMENT TO REMAIN. DO NOT DISTURB
9. EXISTING FENCE BETWEEN UNITS TO REMAIN

KEYNOTES:

THIS ARE ONLY IMPROVEMENT PLANS. FOR MORE BOUNDARY INFORMATION REFER TO HOUSING AUTHORITY OF THE CITY OF YUMA LOT TIE, AS RECORDED IN BK. ___, PG.___, YUMA COUNTY RECORDERS OFFICE. YUMA COUNT, AZ.

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ochoac on behalf of the Building Official 02/15/2023 10:50:05 AM

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UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CITY OF YUMA ENGINEERING STAFF AND LAND SURVEYOR PRIOR TO PROCEEDING.

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

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Demolition Plan
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Civil)
CERTIFICATE NO.
50476
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12-13-22
Date Signed
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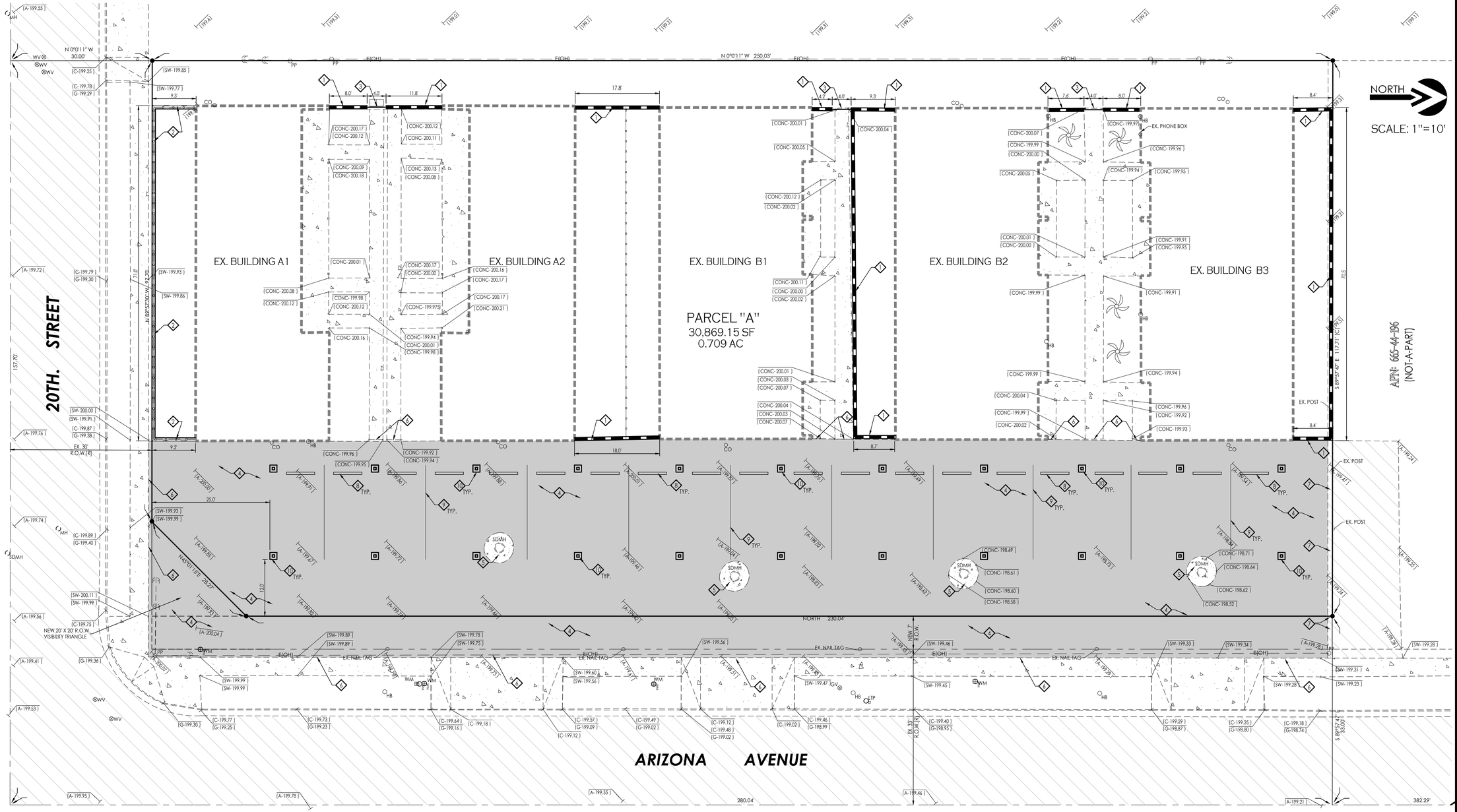
Revised: Vna

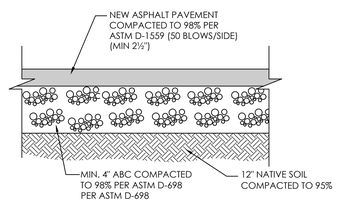
Sheet
C1



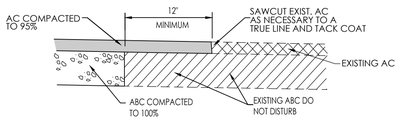
LEGEND

- INDICATES EX. ASPHALT PAVEMENT
- INDICATES EX. CONCRETE
- INDICATES BOUNDARY LINE
- INDICATES CENTERLINE
- INDICATES RIGHT-OF-WAY LINE
- INDICATES EX. FENCE
- INDICATES EX. CMU WALL
- E(OH) — INDICATES EX. ELECTRICAL OVERHEAD LINE
- INDICATES NEW ASPHALT PAVEMENT
- INDICATES NEW 6' HIGH WALL - (3' CMU WALL W/3' HIGH WROUGHT IRON FENCE)
- INDICATES NEW 6' CMU WALL

- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. — INDICATES BRASS CAP
- Y.C.R. — INDICATES YUMA COUNTY RECORDERS
- PP — INDICATES EXISTING POWER POLE
- GW — INDICATES EXISTING GUY WIRE
- JB — INDICATES EXISTING JUNCTION BOX
- INDICATES EXISTING SIGN
- MH — INDICATES EXISTING MANHOLE
- WM — INDICATES EXISTING WATER METER
- WV — INDICATES EXISTING WATER VALVE



PARKING LOT PAVEMENT SECTION — A / C2



SAWCUT DETAIL — B / C2

KEYNOTES:

1. NEW 6' CMU WALL AS PER CITY OF YUMA STD.- 1-015
2. NEW 6' HIGH WALL - (3' CMU WALL W/3' HIGH WROUGHT IRON FENCE)
3. NEW 4' WIDE WROUGHT IRON GATE
4. NEW 2½" AC PAVEMENT - SEE DETAIL (A / C2)
5. EXISTING MANHOLE AND CONCRETE RING TO REMAIN. DO NOT DISTURB
6. CONSTRUCT TO MATCH WITH EXSITING IMPROVEMENTS
7. SAWCUT 1' OF EX. PAVEMENT, AND REPLACE WITH NEW PAVEMENT - SEE DETAIL (B / C2)
8. NEW 6' PARKING BUMPER TO BE INSTALLED AFTER CONSTRUCTION OF PARKING SHADE STRUCTURE SEE SHEET 7 FOR MORE INFORMATION
9. 4" WHITE PARKING STRIPE W/PIONEER TRAFFIC PAINT OR APPROVED EQUAL TO BE PAINTED AFTER CONSTRUCTION OF PARKING SHADE STRUCTURE SEE SHEET 7 FOR MORE INFORMATION
10. NEW PARKING SHADE STRUCTURE COLUMN TO BE CONSTRUCTED AFTER PARKING LOT PAVING

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Paving & Grading Plan
Tenant Improvements for
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HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Civil)
CERTIFICATE NO.
50476
Vianey R. Vega
12-13-22
Date Signed
Arizona, U.S.A.

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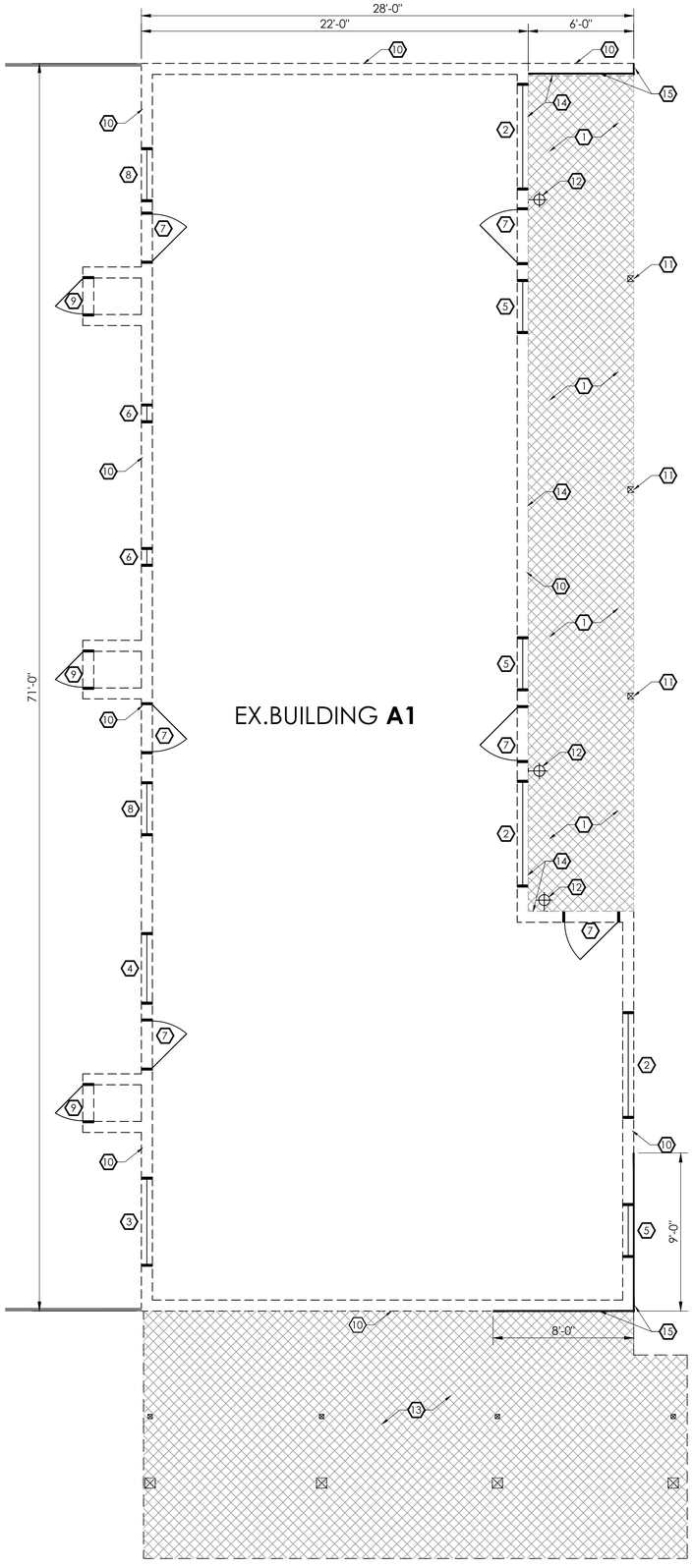
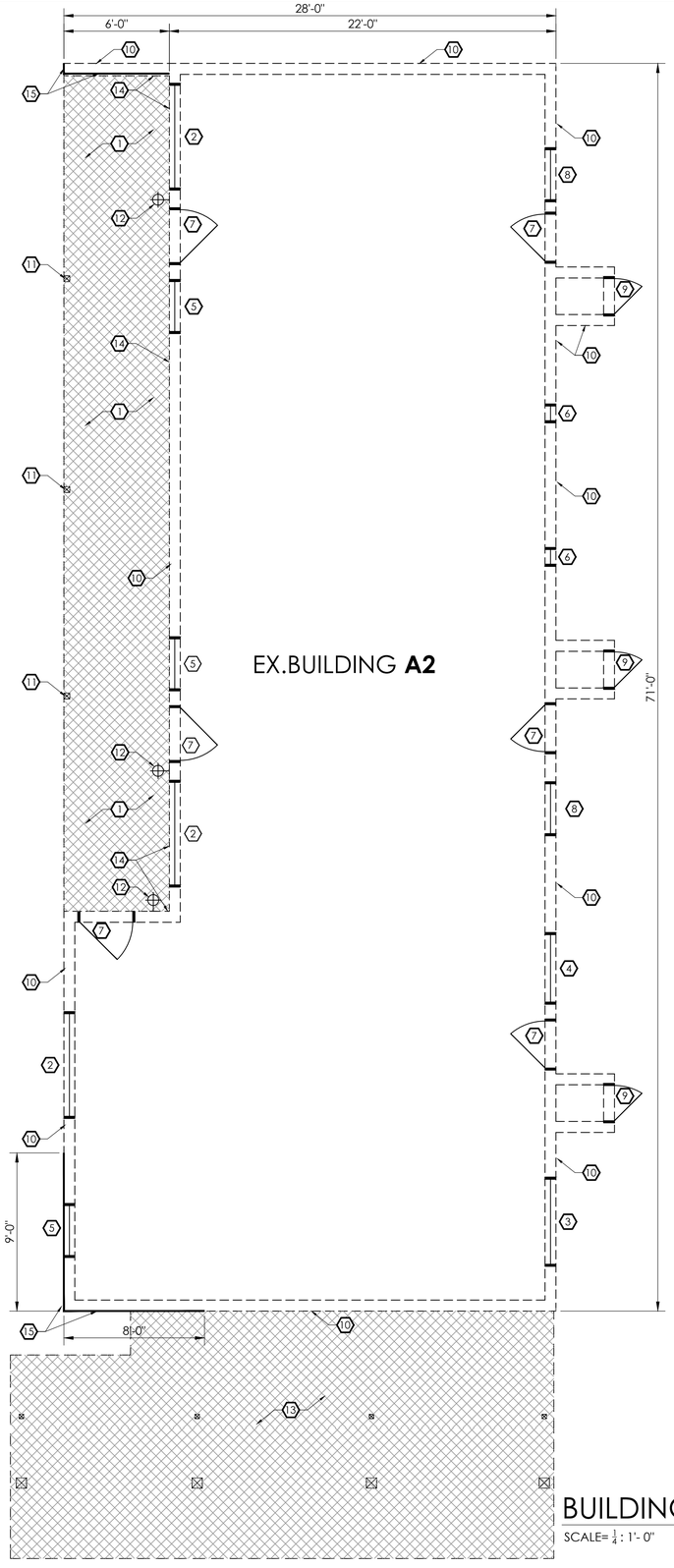
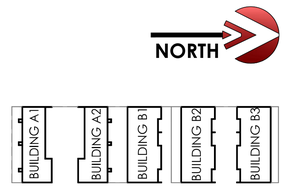
Sheet
C2







BUILDINGS KEY PLAN

DEMOLITION NOTES

1. EXISTING FRONT PORCH STRUCTURE TO BE REMOVED TO INCLUDE ROOF TILE, ROOF SHEATHING, ROOF RAFTERS, WALL LEDGER, BEAMS, POSTS AND POST BASES.
2. REMOVE EXISTING WINDOW TO INSTALL NEW ANDERSEN 100 SERIES WINDOW 6^0X4^0 TO MATCH EXISTING OPENING
3. REMOVE EXISTING WINDOW TO INSTALL NEW ANDERSEN 100 SERIES WINDOW 5^0 X 4^0 TO MATCH EXISTING OPENING
4. REMOVE EXISTING WINDOW TO INSTALL NEW ANDERSEN 100 SERIES WINDOW 4^0 X 4^0 TO MATCH EXISTING OPENING
5. REMOVE EXISTING WINDOW TO INSTALL NEW ANDERSEN 100 SERIES WINDOW 3^0 X 5^0 TO MATCH EXISTING OPENING
6. REMOVE EXISTING WINDOW TO INSTALL NEW ANDERSEN 100 SERIES WINDOW 1^0 X 4^0 TO MATCH EXISTING OPENING
7. REMOVE EXISTING DOOR AND DOOR FRAME TO INSTALL NEW PANELIZED 3^0 X 6^8 SOLID CORE WOOD DOOR WITH WOOD FRAME TO MATCH EXISTING OPENING
8. REMOVE EXISTING WINDOW TO INSTALL NEW ANDERSEN 100 SERIES WINDOW 3^0 X 3^0 TO MATCH EXISTING OPENING
9. REMOVE EXISTING DOOR AND DOOR FRAME TO INSTALL NEW PANELIZED 2^0 X 6^8 SOLID CORE WOOD DOOR WITH WOOD FRAME TO MATCH EXISTING OPENING
10. EXTERIOR WALLS TO REMAIN
11. REMOVE EXISTING COLUMN AND COLUMN BASE
12. EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW WALL MOUNTED LIGHT FIXTURE OWNER PROVIDED CONTRACTOR INSTALLED AT THE SAME LOCATION
13. REMOVE EXISTING CARPORT TO INCLUDE ROOF COVER, EXISTING COLUMNS AND EXISTING COLUMN BASES
14. REPAIR EXISTING STUCCO AS NEEDED AFTER EXISTING PATIO COVER REMOVAL
15. REMOVE EXISTING STUCCO TOP WALL TRIM FOR NEW BRICK INSTALLATION AT THIS AREA

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BUILDING **A1** & **A2** DEMOLITION PLAN

SCALE= $\frac{1}{4}$: 1'- 0"

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YUMA, AZ. 85365
928-329-0000 TEL
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Demolition Plan For Buildings A1& A2
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Civil)
CERTIFICATE NO.
50476
Vlaney R. Vega
Date Signed 12-13-22
Arizona U.S.A.

Notes:

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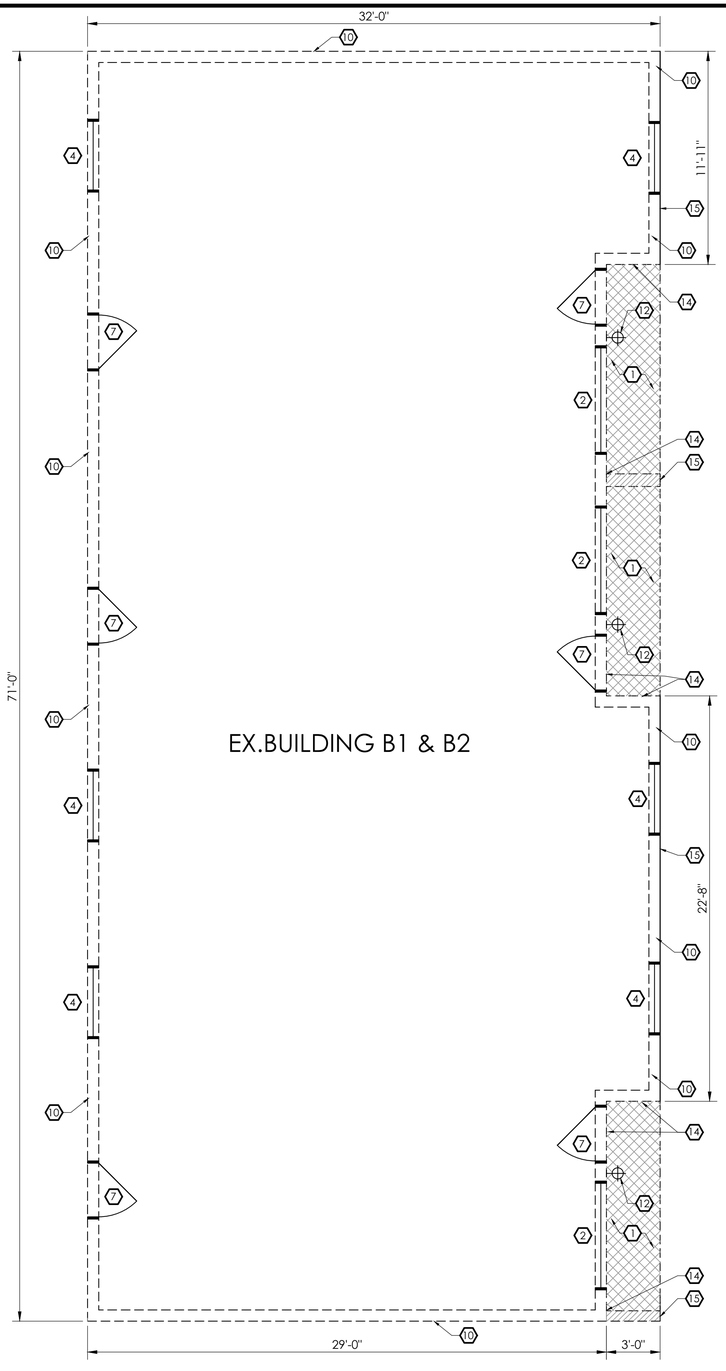
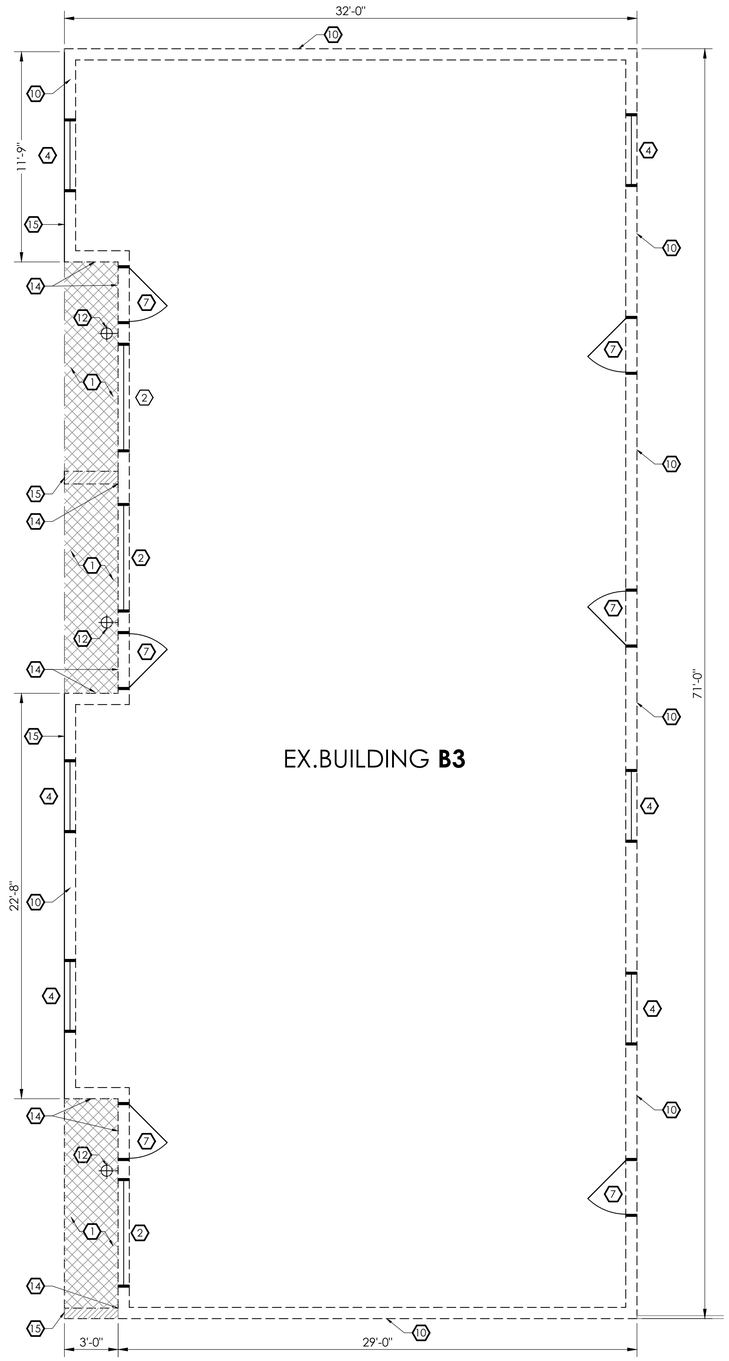
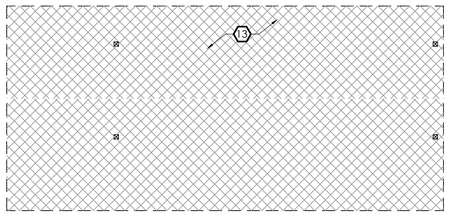
Sheet
1

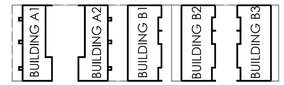






BUILDING **B1**, **B2** & **B3** DEMOLITION PLAN

SCALE= $\frac{1}{4}$" : 1'- 0"



BUILDINGS KEY PLAN

DEMOLITION NOTES

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2. REMOVE EXISTING WINDOW TO INSTALL NEW ANDERSEN 100 SERIES WINDOW 6^0X4^0 TO MATCH EXISTING OPENING
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12. EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW WALL MOUNTED LIGHT FIXTURE OWNER PROVIDED CONTRACTOR INSTALLED AT THE SAME LOCATION
13. REMOVE EXISTING CARPORT TO INCLUDE ROOF COVER, EXISTING COLUMNS AND EXISTING COLUMN BASES
14. REPAIR EXISTING STUCCO AS NEEDED AFTER EXISTING WALL AND EXISTING FRONT PORCH REMOVAL.
15. REMOVE EXISTING COMPLETE WALL FROM FLOOR TO TOP OF WALL.

NORTH

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Demolition Plan For Buildings B1, B2 & B3
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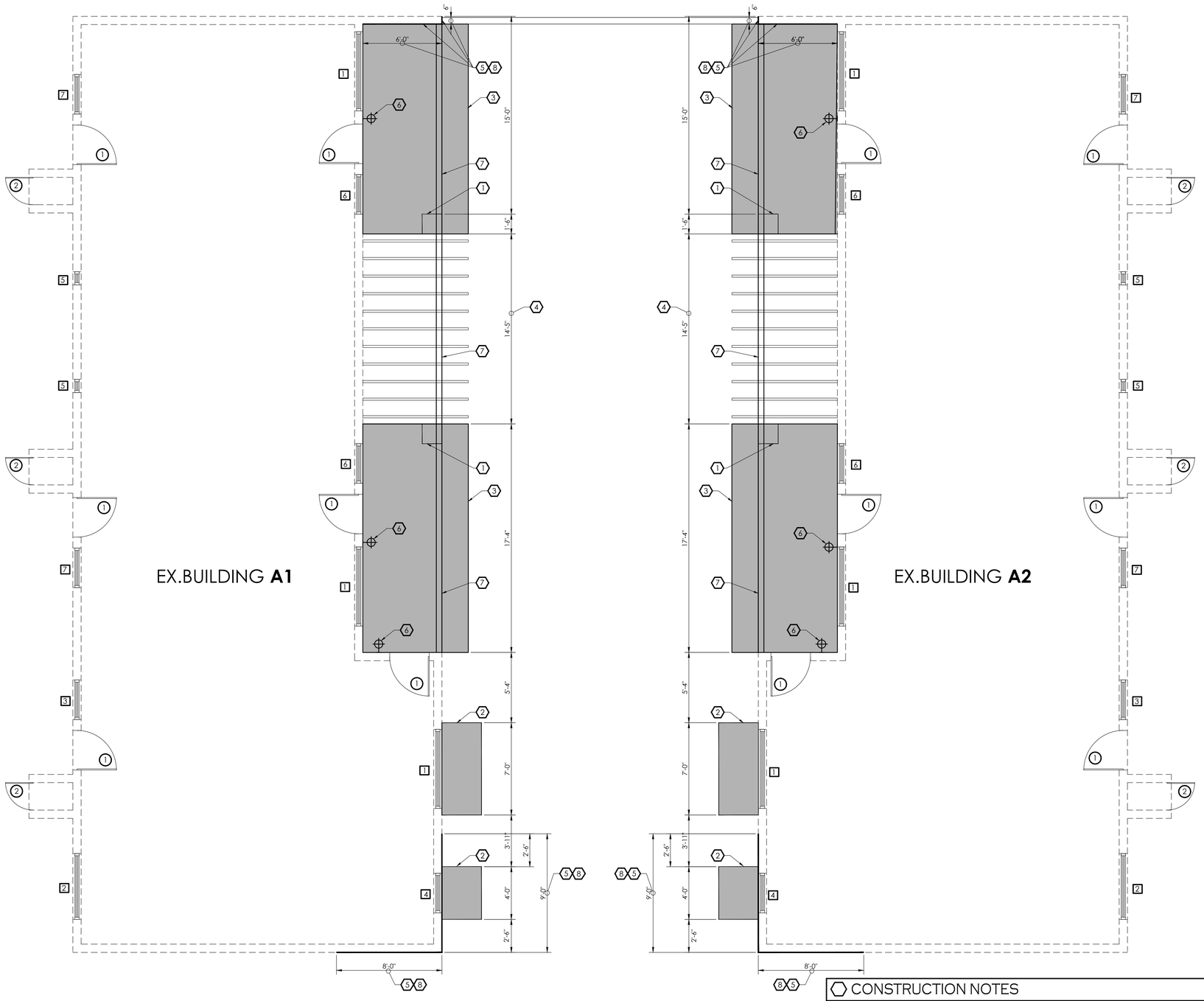

EXISTING BUILDING A 1& A2 TENANT IMPROVEMENTS PLAN

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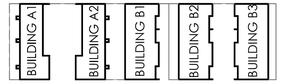
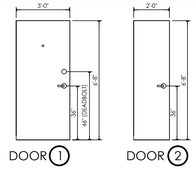


BUILDINGS KEY PLAN

NORTH

DOOR SCHEDULE

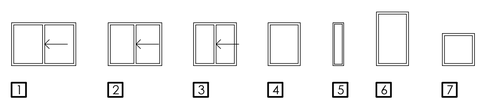
MARK	WIDTH	HEIGHT	THICK	FACE	CORE	FRAME	COMMENTS
1	3'-0"	6'-8"	1-3/4"	FIBER GLASS	INSULATED	WOOD	PROVIDE ALUMINUM SILL. DOOR HANDLE SHALL BE LEVER TYPE. PAINT FINISH: SHERWIN-WILLIAMS DET411 CHARLESTON CHERRY
2	2'-0"	6'-8"	1-3/4"	FIBER GLASS	INSULATED	WOOD	PROVIDE ALUMINUM SILL. DOOR HANDLE SHALL BE LEVER TYPE. PAINT FINISH: SHERWIN-WILLIAMS DET411 CHARLESTON CHERRY



WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	FRAME	FINISH	GLAZ'G	COMMENTS
1	6'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. SLIDING.
2	5'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. SLIDING.
3	4'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. SLIDING.
4	3'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.
5	1'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.
6	3'-0"	5'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.
7	3'-0"	3'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.

WINDOW STYLES



CONSTRUCTION NOTES

1. NEW 18" SQ. WOOD FRAMED COLUMN W/ BRICK VENEER OVER SCRATCH COAT AND STUCCO - BRICK VENEER EQUAL TO " CORONADO THIN BRICK VENEER SERIES (ROMAN BRICK - AMBROSIA)"
2. NEW METAL SHADE CANOPY OVER WINDOW SEE SHEET S.2
3. NEW FRONT PORCH - SEE SHEET S.2 FOR DETAILS
4. NEW VINYL 2X8 HOLLOW RAIL WITH 2 X8 PERGOLA ENDS OPEN TRELLIS (PLASTIC LUMBER YARD) @ 16" O.C. SEE SHEET S.2 FOR DETAILS PAINTED WITH SHERWIN-WILLIAMS DE1696 STANDFORD STONE P-1 COLOR ACRYLIC PAINT SCHEME
5. NEW BRICK VENEER TO BE INSTALL ON EXISTING WALL AND NEW COLUMN OVER SCRATCH COAT - EQUAL TO " CORONADO THIN BRICK VENEER SERIES (ROMAN BRICK - AMBROSIA)"
6. NEW WALL MOUNTED LIGHT FIXTURE, OWNER PROVIDED CONTRACTOR INSTALLED AT THE SAME LOCATION OF EXISTING LIGHT FIXTURE REMOVED .
7. NEW 5-$\frac{1}{8}$" X 10-$\frac{1}{2}$" G.L.B.
8. REMOVE EXISTING STUCCO TOP WALL TRIM FOR NEW BRICK INSTALLATION

DOOR AND WINDOWS NOTES

1. THE LOCK OR LOCKS SHALL BE KEYED OPERATED FROM THE EXTERIOR SIDE OF THE DOOR AND OPENABLE FROM THE INTERIOR SIDE BY A SINGLE LEVER DEADBOLT WHICH DOES NOT REQUIRED SPECIAL EFFORT TO OPERATE. IN THE CASE OF A PAIR OF DOORS, THE INACTIVE LEAF SHALL HAVE A DEAD BOLT AT THE TOP AND BOTTOM OF THE DOOR.

2. ALL PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVABLE HINGE PINS OR THE DOOR SHALL HAVE TWO JAMB STUDS WHICH PREVENT REMOVAL FROM THE HINGES. JAMB STUDS SHALL NOT BE LESS THAN A 16D BOX NAIL IN DIAMETER AND SHALL PROJECT INTO THE DOOR AND JAMB NOT LESS THAN 1/4".

3. WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND WITH A MEANS OR A DEVICE TO PROHIBIT THE RAISING OR REMOVAL OF THE MOVING PANEL WHILE IN THE CLOSED POSITION.

4. ALL OPENINGS IN THE EXTERIOR WALL AND ROOF SHALL BE PROVIDED WITH DEVICES TO PREVENT UNLAWFUL ENTRY FROM THE OUTSIDE.

3. SAFETY GLAZING SHALL BE INSTALLED IN ALL WINDOWS WITHIN 24" OF A DOOR.

6. ALL WINDOWS AND DOOR OPENINGS SHALL BE FLASHED AND WEATHERPROOFED BY MEANS OF A DEVICE TO PROHIBIT AND PREVENT INFILTRATION OF MOISTURE AND MOLD CONTROL.

7. ALL GLAZED FENESTRATION SHALL BE DUAL PANE, INSULATED AND MAX. SHGC OF .25 , U-VALUE OF .34

8. ENTRY DOORS TO ALL RESIDENTIAL UNITS SHALL BE EQUIPPED WITH AN EYE VIEWER (PEEP HOLE)

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Existing Building A1 & A2 T.I. Plan
Tenant Improvements for
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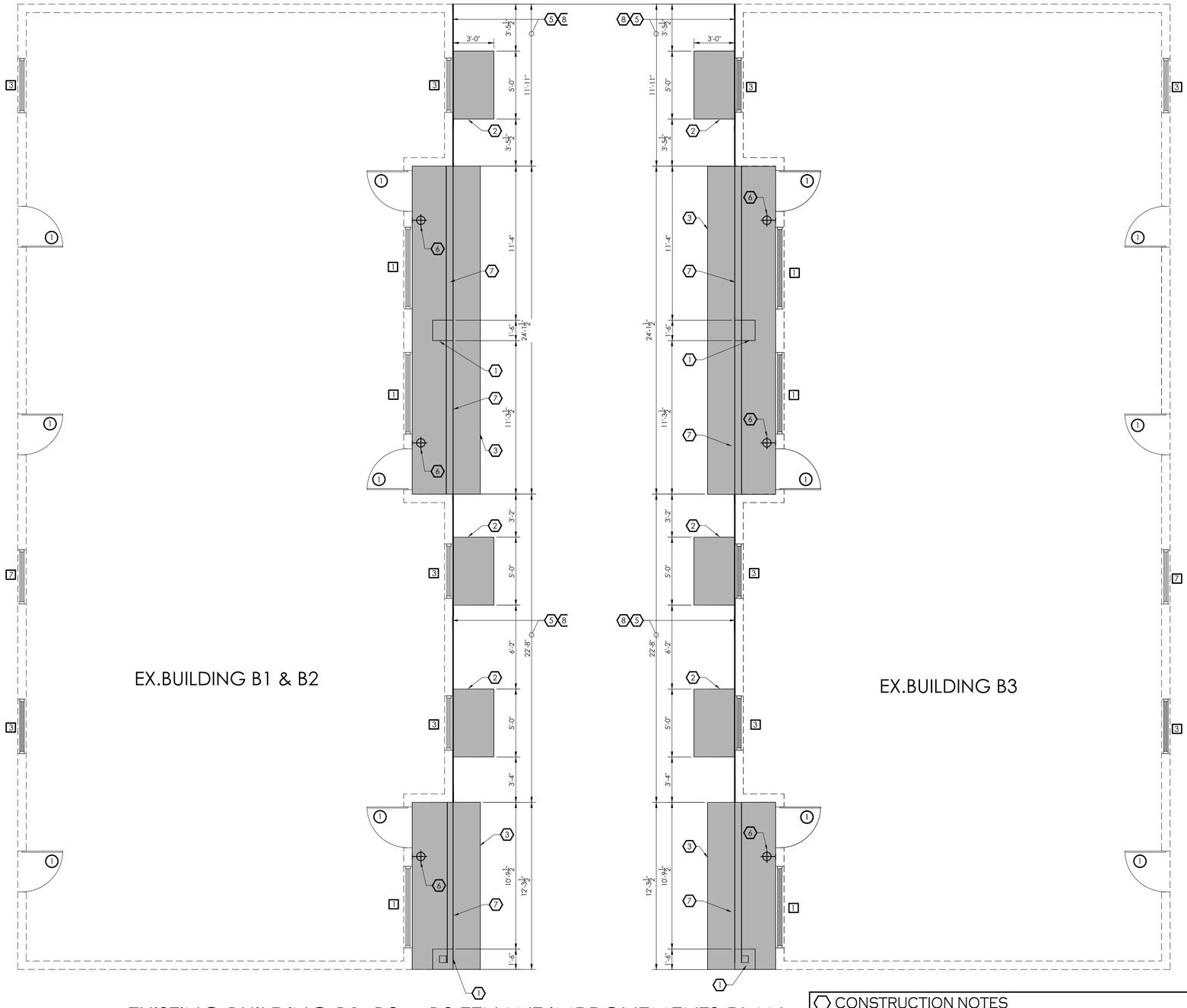
3

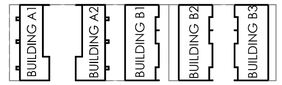


EXISTING BUILDING B1, B2 & B3 TENANT IMPROVEMENTS PLAN

SCALE= ¼ : 1'- 0"

CONSTRUCTION NOTES

1. NEW 18" SQ. WOOD FRAMED COLUMN W/ BRICK VENEER OVER SCRATCH COAT AND STUCCO - BRICK VENEER EQUAL TO " CORONADO THIN BRICK VENEER SERIES (ROMAN BRICK - AMBROSIA)"
2. NEW METAL SHADE CANOPY OVER WINDOW SEE SHEET S.2
3. NEW FRONT PORCH - SEE SHEET S.2 FOR DETAILS
4. NEW VINYL 2X8 HOLLOW RAIL WITH 2 X8 PERGOLA ENDS OPEN TRELLIS (PLASTIC LUMBER YARD) @ 16" O.C. SEE SHEET S.2 FOR DETAILS PAINTED WITH SHERWIN-WILLIAMS DE1696 STANDFORD STONE P-1 COLOR ACRYLIC PAINT SCHEME
5. NEW BRICK VENEER TO BE INSTALL ON EXISTING WALL AND NEW COLUMN OVER SCRATCH COAT - EQUAL TO " CORONADO THIN BRICK VENEER SERIES (ROMAN BRICK - AMBROSIA)"
6. NEW WALL MOUNTED LIGHT FIXTURE, OWNER PROVIDED CONTRACTOR INSTALLED AT THE SAME LOCATION OF EXISTING LIGHT FIXTURE REMOVED .
7. NEW 5-⅛" X 10-½"" G.L.B.
8. REMOVE EXISTING STUCCO TOP WALL TRIM FOR NEW BRICK INSTALLATION

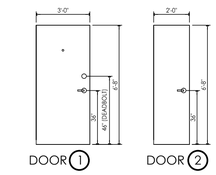


BUILDINGS KEY PLAN

NORTH

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICK	FACE	CORE	FRAME	COMMENTS
1	3'-0"	6'-8"	1-¾"	FIBER GLASS	INSULATED	WOOD	PROVIDE ALUMINUM SILL. DOOR HANDLE SHALL BE LEVER TYPE. PAINT FINISH: SHERWIN-WILLIAMS DET411 CHARLESTON CHERRY
2	2'-0"	6'-8"	1-¾"	FIBER GLASS	INSULATED	WOOD	PROVIDE ALUMINUM SILL. DOOR HANDLE SHALL BE LEVER TYPE. PAINT FINISH: SHERWIN-WILLIAMS DET411 CHARLESTON CHERRY

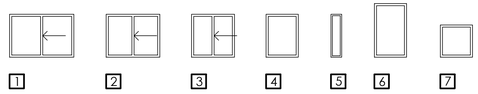


DOOR 1 DOOR 2

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	FRAME	FINISH	GLAZ'G	COMMENTS
1	6'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. SLIDING.
2	5'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. SLIDING.
3	4'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. SLIDING.
4	3'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.
5	1'-0"	4'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.
6	3'-0"	5'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.
7	3'-0"	3'-0"	FIBREX COMPOSITE MATERIAL	DARK BRONZE	LOW-E	ANDERSEN WINDOW 100 SERIES. FIXED.

WINDOW STYLES



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Sheet
4

WALL & COLOR SCHEDULE

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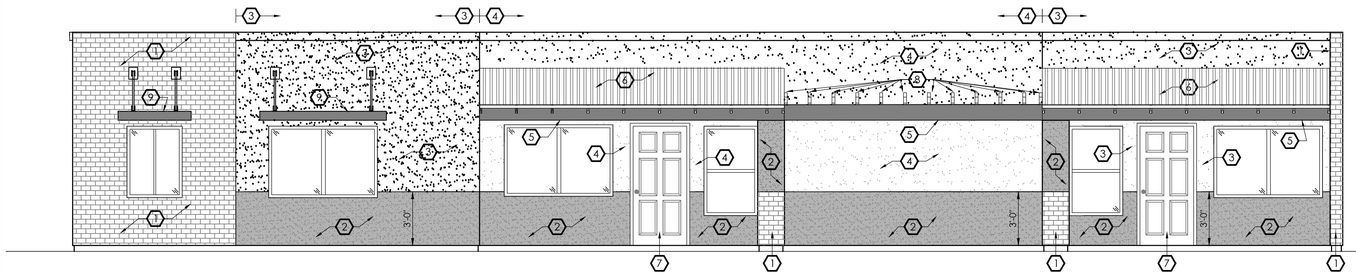
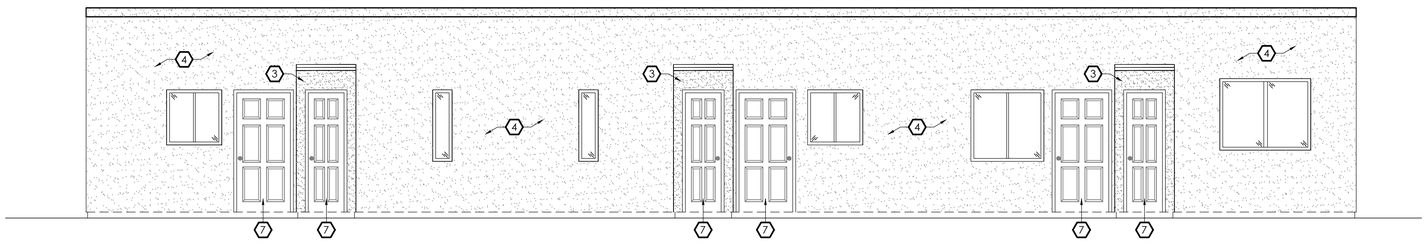
2. NEW AND EXISTING STUCCO TO BE PAINTED WITH SHERWIN-WILLIAMS COMP(D003)DE6061 RIVER ROCKS
3. EXISTING STUCCO TO BE PAINTED WITH SHERWIN-WILLIAMS DE5249 COYOTE P-3 COLOR ACRYLIC PAINT SCHEME (ORANGE)
4. EXISTING STUCCO TO BE PAINTED WITH SHERWIN-WILLIAMS DE6184 SAILCLOTH P-2 COLOR ACRYLIC PAINT SCHEME (OFF WHITE)
5. NEW G.L.B. TO BE PAINTED WITH SHERWIN-WILLIAMS DE1696 STANDFORD STONE P-1 COLOR ACRYLIC PAINT SCHEME
6. NEW STANDING SEAM 5V-CRIMP METAL ROOFING FRONT PORCH COLOR BURNISHED SLATE SEE SHEET S.2 FOR DETAILS
7. NEW DOORS TO BE PAINTED WITH SHERWIN-WILLIAMS DET411 CHARLESTON CHERRY
8. NEW VINYL 2X8 HOLLOW RAIL WITH 2 X8 PERGOLA ENDS OPEN TRELLIS (PLASTIC LUMBER YARD) @ 16" O.C. SEE SHEET S.2 FOR DETAILS PAINTED WITH SHERWIN-WILLIAMS DE1696 STANDFORD STONE P-1 COLOR ACRYLIC PAINT SCHEME
9. NEW METAL SHADE WINDOW STRUCTURE SEE SHEET S.2 FOR DETAILS



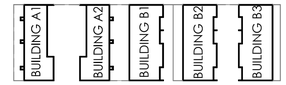
BUILDING A1 & A2(MIRROR) MAIN ELEVATION

SCALE: $\frac{1}{4}$" =1'- 0"



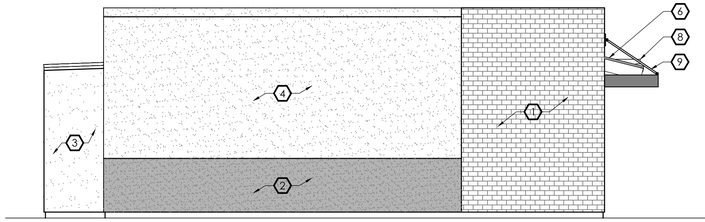
BUILDING A1 & A2(MIRROR) BACK ELEVATION

SCALE: $\frac{1}{4}$" =1'- 0"



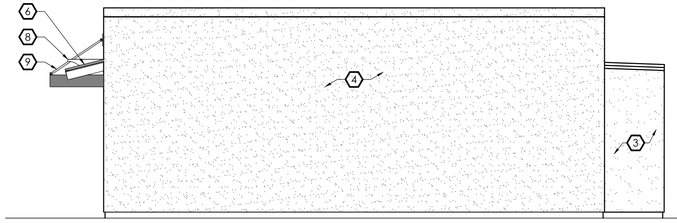
BUILDINGS KEY PLAN

NORTH



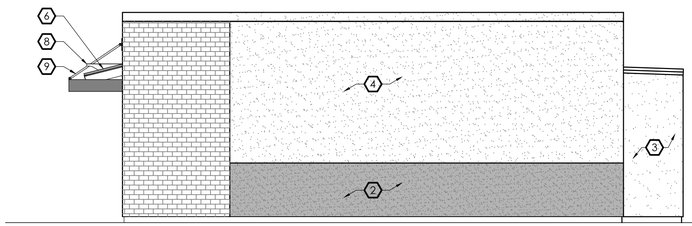
BUILDING **A1** EAST ELEVATION

SCALE: $\frac{1}{4}$" =1'- 0"



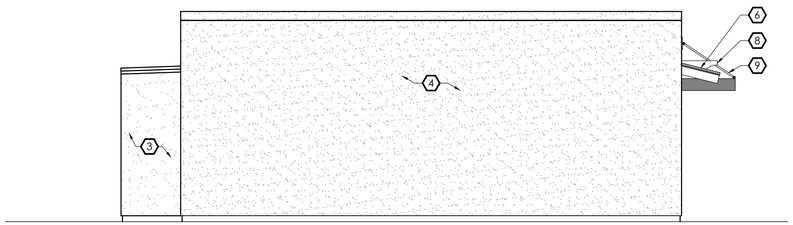
BUILDING **A1** WEST ELEVATION

SCALE: $\frac{1}{4}$" =1'- 0"



BUILDING **A2** EAST ELEVATION

SCALE: $\frac{1}{4}$" =1'- 0"



BUILDING **A2** WEST ELEVATION

SCALE: $\frac{1}{4}$" =1'- 0"

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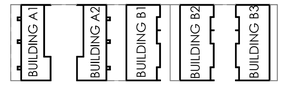
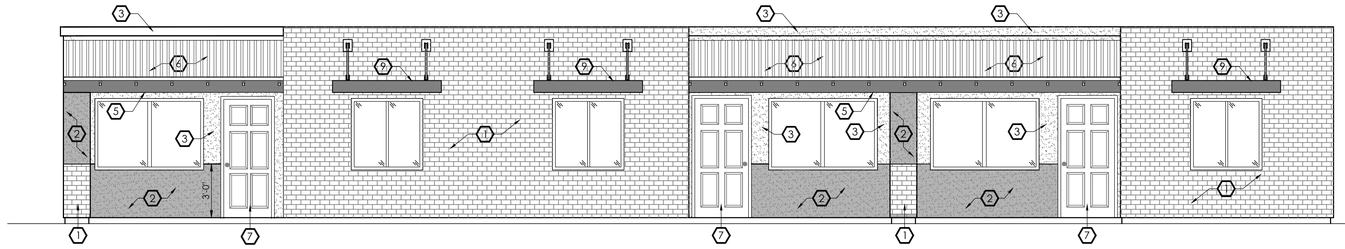


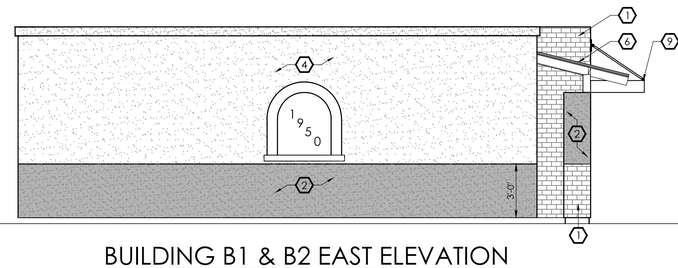
BUILDINGS KEY PLAN

NORTH



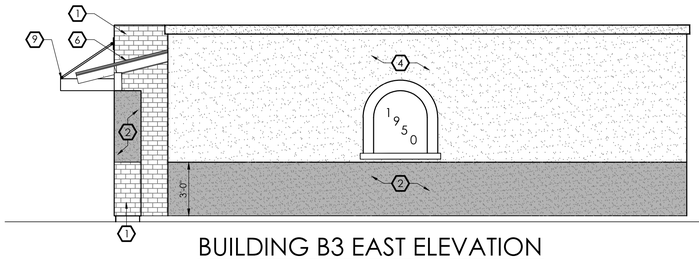
BUILDING B1, B2 & B3(MIRROR) MAIN ELEVATION

SCALE: $\frac{1}{4}$" = 1'- 0"



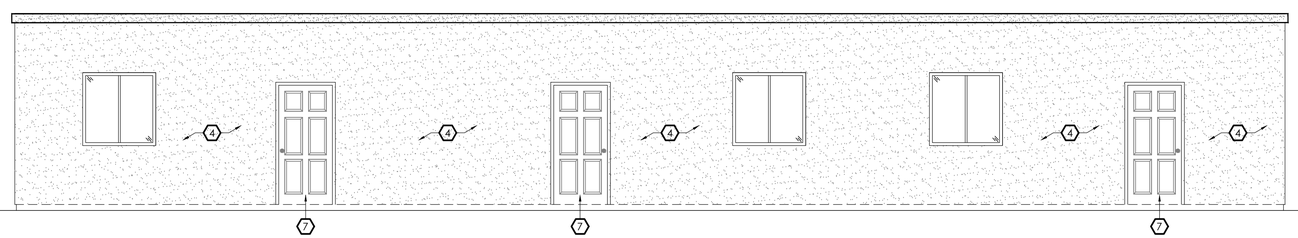
BUILDING B1 & B2 EAST ELEVATION

SCALE= $\frac{1}{4}$" = 1'- 0"



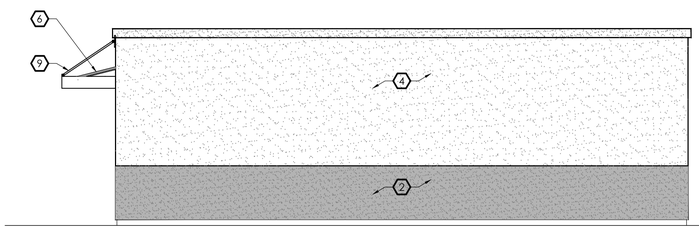
BUILDING B3 EAST ELEVATION

SCALE= $\frac{1}{4}$" = 1'- 0"



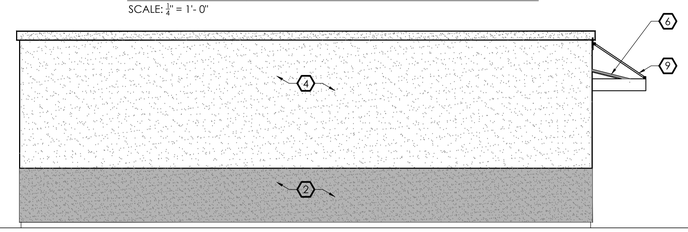
BUILDING B1, B2 & B3(MIRROR) SOUTH ELEVATION

SCALE: $\frac{1}{4}$" = 1'- 0"



BUILDING **B1 & B2** WEST ELEVATION

SCALE: $\frac{1}{4}$" = 1'- 0"



BUILDING **B3** WEST ELEVATION

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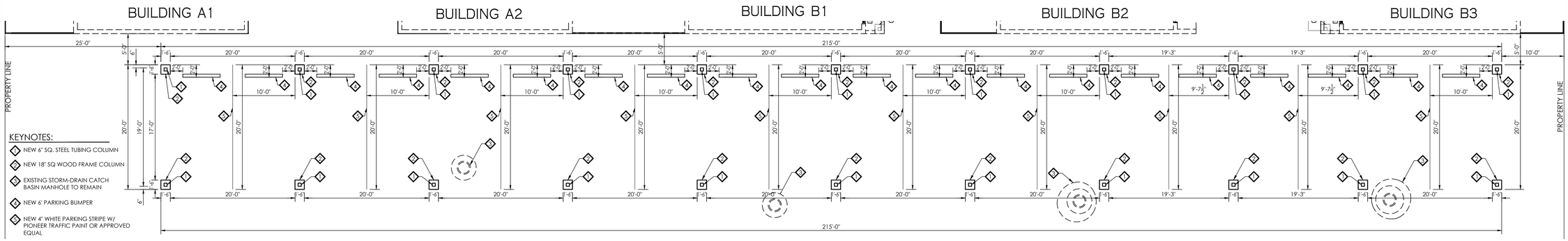
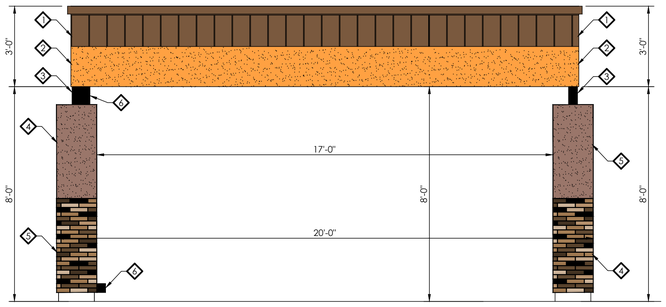


PARKING SHADE STRUCTURE FLOOR PLAN

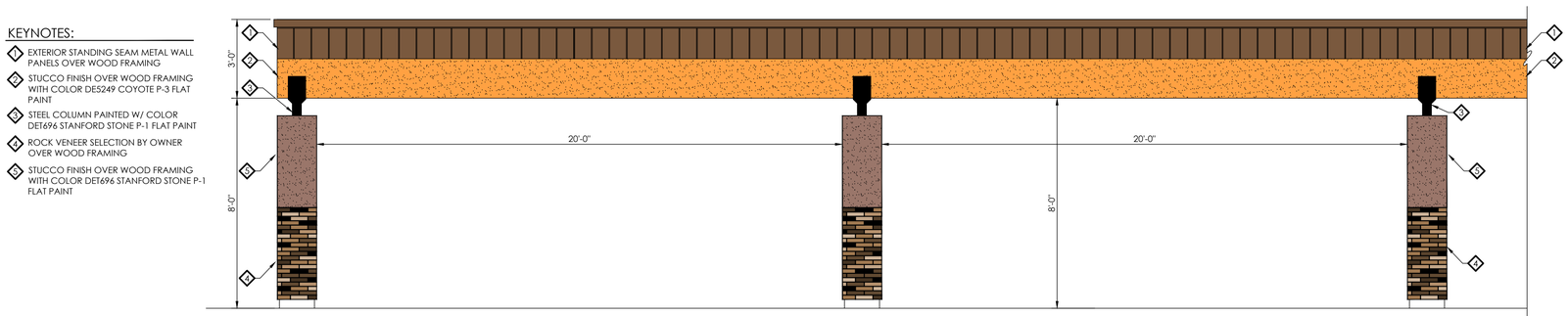
SCALE= 1/8" : 1'- 0"

NORTH



PARKING SHADE STRUCTURE NORTH AND SOUTH ELEVATION

SCALE= 1/8" : 1'- 0"



PARTIAL PARKING SHADE STRUCTURE EAST AND WEST ELEVATION ENLARGEMENT

SCALE= 1/8" : 1'- 0"

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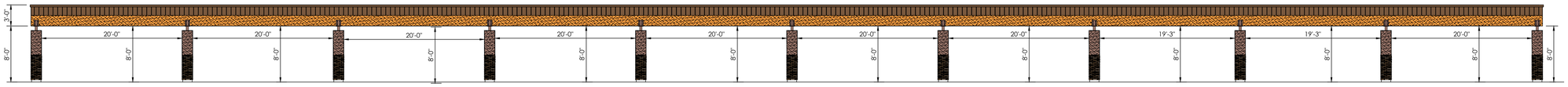


PARKING SHADE STRUCTURE EAST AND WEST ELEVATION

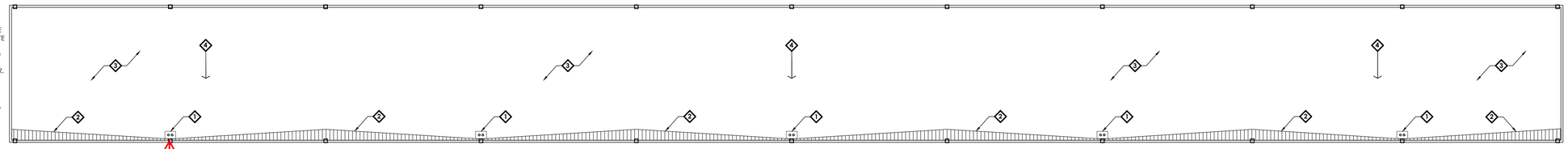
SCALE= 1/8" : 1'- 0"

BUILDING A1 | BUILDING A2 | BUILDING B1 | BUILDING B2 | BUILDING B3

PROPERTY LINE

KEYNOTES:

1. (2) ROOF DRAIN AND (3) OVERFLOW LINES ARE TO DROP IN COLUMN, SEPARATELY PENETRATE COLUMN, AND TURN DOWN 90 DEGREES TO DISCHARGE AT 8 INCHES ABOVE FINISHED GRADE.
   EXPOSED PIPING ON EXTERIOR TO BE COPPER. PROVIDE SPLASH BLOCK AT DISCHARGE TO DIRECT FLOW AWAY FROM COLUMN
2. 15/32" OSB OR PLYWOOD CRICKETS OVER 2"x4" FRAMING @ 24" O.C.
3. SINGLE-PLY ROOFING SYSTEM OVER 2" RIGID INSULATION OVER DECK
4. ⟶ DENOTES ROOF SLOPE DIRECTION DOWN OF A MINIMUM ¼"/FT.



The secondary drain or overflow drain inlet shall be 2" above the primary drain inlet. 1106.2, 1108.3 IPC Per City's amendment.

PARKING SHADE STRUCTURE ROOF PLAN

SCALE= 1/8" : 1'- 0"

NORTH

PROPERTY LINE

REVIEWED FOR CODE COMPLIANCE

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ochoac on behalf of the Building Official 02/15/2023 10:54:03 AM

NOTICE - The Approved set of plans shall be maintained on the construction site at all times during construction

VEGA & VEGA ENGINEERING PLLC
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Parking Shade Structure Roof Plan & Elevation
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Civil)
CERTIFICATE NO.
50476
Vianey R. Vega
Date Signed 12-12-22
Arizona U.S.A.

Notes:
CONST REVIEW

Scale: As Shown	Date: JAN. 2023
Drawn: STAFF	Job #: VnV22-500
Design: Vna.	

Sheet
8

GENERAL NOTES

1.- IF THE DRAWINGS AND SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT RESTRICTIONS AND REQUIREMENTS SHALL GOVERN.

2.- PLAN NOTES, DETAILS AND SECTIONS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES. TYPICAL DETAILS SECTIONS NOT CUT ON THE PLANS SHALL APPLY UNLESS NOTED OTHERWISE.

3.- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS. DO NO SCALE DRAWINGS FOR DIMENSIONS.

4.- CONTRACTORS ARE REQUIRED TO COORDINATE THEIR RESPECTIVE WORK WITH OTHER DISCIPLINES TO AVOID ANY CONFLICTS DURING CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE STRUCTURAL DRAWINGS WITH ALL OTHER CONSTRUCTION DOCUMENTS

5.- LOCATION, SIZES AND QUANTITY OF ALL OPENINGS MAY NOT BE COMPLETELY INDICATED ON THE STRUCTURAL DRAWINGS, CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL OPENINGS WITH ALL OTHER DISCIPLINES PRIOR TO ANY FABRICATION.

6.- CONTRACTORS ARE REQUIRED TO VERIFY EXISTING CONDITIONS PRIOR TO ANY FABRICATION OR CONSTRUCTION. IF EXISTING CONDITIONS ARE DIFFERENT THAN SHOWN, NOTIFY A/E IMMEDIATELY FOR MODIFICATIONS OF DRAWINGS

7.- THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING, SHORING, UNDERPINNING, ETC. THE ENGINEER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S, MEANS, METHODS, TECHNIQUES, SEQUENCES OR SAFETY PROCEDURES DURING CONSTRUCTION

8.- NO CHANGES FROM APPROVED PLANS SHALL BE DONE IN THE FIELD, UNLESS A WRITTEN APPROVAL IS OBTAIN FROM THE ENGINEER OF RECORD.

IF CHANGES TAKE PLACE WITHOUT WRITTEN APPROVAL, SAID CHANGES WILL BE FINANCIAL & LEGAL RESPONSIBILITY OF THE CONTRACTOR OR SUB-CONTRACTOR INVOLVED AND IT WILL BE THEIR RESPONSIBILITY TO BE RE-PLACED OR REPAIR AS DIRECTED BY THE ENGINEER OF RECORD

DESIGN BUILD CODE

1.- BUILDING CODE: THE 2018 INTERNATIONAL BUILDING CODE

FOUNDATION / EARTHWORK NOTES

1.- BUILDING FOUNDATION BASED ON MINIMUM UNIFORM BUILDING CODE SOIL BEARING AS PERMITTED BY THE LOCAL ORDINANCE. IN THE ABSENCE OF A SOILS REPORT A DESIGN ALLOWABLE BEARING PRESSURE OF 1,500 PSF SHALL BE USED. ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY GEOTECHNICAL ELEMENTS OF THIS PROJECT.

2.- BUILDING FOUNDATION SHALL BE PLACED ON FIRM, UNDISTURBED NATURAL SOILS OR ON ENGINEERED FILL MATERIAL FOR AREAS REQUIRING ENGINEERED FILL, THIS MATERIAL SHALL CONSIST OF CLEAN GRANULAR FILL COMPACTED AS NOTED IN THE EARTHWORK SPECIFICATIONS AND PLACED LIFTS AS RECOMMENDED BY THE SOILS ENGINEER. ON SITE OR AS SHOWN IN THE GEOTECHNICAL REPORT.

3.- IT IS RECOMMENDED THAT OWNER OBTAIN A SOILS REPORT SEAL BY AN ARIZONA LICENSED GEOTECHNICAL ENGINEER AND ALL WORK TO BE DONE IN ACCORDANCE WITH SOILS REPORT RECOMMENDATIONS.

4.- SUBBASE MATERIAL UNDER SLABS ON GRADE TO BE CLEAN GRANULAR FILL COMPACTED AS NOTED IN THE EARTHWORK SPECIFICATIONS

5.- UNDERCUTTING OF THE SOIL FOR FOUNDATION AND/OR PLACEMENT MAY BE REQUIRED. THE STRUCTURAL DRAWINGS MAY NOT INDICATE THE ENTIRE SCOPE OF UNDERCUTTING , FILL, BAD SOIL OR ROCK REMOVAL THAT MAY BE REQUIRED TO ATTAIN THE DESIGN SOIL BEARING PRESSURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE GEOTECHNICAL REPORT, BEFORE BIDDING, TO ASSESS THE EXTENT OF EXCAVATION AND COMPACTION THAT MAY BE REQUIRED TO MEET THE DESIGN CRITERIA.

6.- SLOPE EXTERIOR FINISH GRADE AWAY FROM THE BUILDING TO PREVENT ANY PONDING OF WATER NEAR THE BUILDING.

7.- CLEAR & REMOVE ALL EXISTING DEBRIS, VEGETATION, CONCRETE, PAVEMENT AND STRUCTURES THAT WOULD INTERFERE WITH CONSTRUCTION OF THIS PROJECT

8.- FOR IMPORTED FILL, ONSITE SUBGRADE SOIL & SUBBASE SHALL BE COMPACTED IN ACCORDANCE WITH ASTM D698

GENERAL WOOD FRAMING NOTES

1.- SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS

2.- ALL WORK TO BE IN STRICT ACCORDANCE WITH THE 2018 IBC, AND LOCAL ORDINANCES

DIMENSIONAL LUMBER

3.- DIMENSIONAL LUMBER USED AS STRUCTURAL FRAMING (i.e. JOISTS, RAFTERS, HEADERS) SHALL BE DOUGLAS FIR-LARCH NO. 2 OR APPROVED EQUAL. (UNLESS NOTED OTHERWISE)

4.- DIMENSIONAL LUMBER USED FOR STUD WALLS SHALL BE STUD GRADE UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED AT 24" O.C. MINIMUM (UNLESS NOTED OTHERWISE), WITH A DOUBLE TOP PLATE. SPLICES IN THE DOUBLE TOP PLATE SHALL ALTERNATE TOP AND BOTTOM.

5.- ROUGH CUT TIMBER USED AS STRUCTURAL FRAMING SHALL BE AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS

ENGINEERED LUMBER

6.- GLU-LAMINATED BEAMS FOR SIMPLE SPANS SHALL BE 24F-V4 DF/DF. GLU-LAMINATED BEAMS FOR CONTINUOUS SPANS AND CANTILEVERS SHALL BE 24F-V8 DF/DF DO NOT INSTALL GLU-LAMINATED BEAMS UPSIDE DOWN

7.- LAMINATED VENEER LUMBER AND THE LIKE SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

8.- I-JOIST SHALL BE TJI OR EQUIVALENT, AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

9.- ENGINEERED LUMBER, WITH THE EXCEPTION OF EXTERIOR GRADE GLU-LAMINATED LUMBER, SHALL NOT BE USED IN EXTERIOR APPLICATIONS.

10.- USE REDWOOD OR PRESSURE TREATED LUMBER FOR ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY IN CONTACT WITH EARTH (i.e. MUD SILL). IN SOME SITUATIONS, 26 GAUGE GALVANIZED SHEET METAL MAY BE PROVIDED AS IN APPROVED MOISTURE BARRIER. SEE ENGINEER FOR APPROVAL OF THIS OPTION.

BLOCKING, BRIDGING, MISCELLANEOUS.

11.- DIMENSIONAL JOISTS AND RAFTERS SHALL HAVE FULL-HEIGHT SOLID BLOCKING AT THEIR BEARING POINTS, EACH RAFTER AND/OR ROOF TRUSS SHALL BE ANCHORED WITH SIMPSON H1 ANCHORS AT EACH END (UNLESS NOTED OTHERWISE)

12.- I-JOISTS AND RAFTERS SHALL HAVE FULL-HEIGHT SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT EACH BLOCK TO TOP OF EXTERIOR WALLS WITH SIMPSON A34 CLIPS. (UNLESS NOTED OTHERWISE)

13.- WOOD MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY DETAILED

14.- BIRDS MOUTHS AND/OR NOTCHING OF STRUCTURAL MEMBERS NOT SPECIFICALLY DETAILED ON THE STRUCTURAL PLANS IS NOT PERMITTED WITHOUT PRIOR APPROVAL.

COLUMNS AND STUDS

15.- ALL COLUMNS SHALL EXTEND DOWN THROUGH THE STRUCTURE TO THE FOUNDATION. COLUMNS SHALL BE BRACED AT EACH FLOOR LEVEL. COLUMNS SHALL BE AS WIDE AND DEEP AS THE MEMBER SUPPORT IN ORDER TO PROVIDE FULL BEARING.

16.- STAND ALONE POST SHALL BE DOUGLAS FIR-LARCH NO. 1 OR APPROVED EQUAL. (UNLESS NOTED OTHERWISE)

17.- ALL EXTERIOR WALLS SHALL BE 2X6 AT 24" O.C. (UNLESS NOTED OTHERWISE)

STRUCTURAL CONNECTIONS

18.- THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROVIDE STRUCTURAL CONNECTIONS. CONNECTIONS MUST CARRY THE BEARING CAPACITY OF THE MEMBER AND ANY UPLIFT OR SEISMIC FORCES GENERATED IN THE MEMBER. SPECIAL CONSIDERATION SHALL BE GIVEN TO PREVENT CRUSHING OF THE MEMBER AT BEARING, SPLITTING AND/OR CRACKING OF THE WOOD, AND THE LIKE.

19.- THE CONTRACTOR SHALL STRICTLY ADHERE TO THE CONNECTION DETAILS SPECIFIED ON THE PLANS OR INCLUDED WITH THE CONSTRUCTIONS DOCUMENTS, PRIOR APPROVAL IS REQUIRED FOR ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS

20.- SUBSTITUTION OF CONNECTIONS OTHER THAN THOSE SPECIFIED ON THE PLANS REQUIRES PRIOR APPROVAL. THE ENGINEER IS NOT RESPONSIBLE FOR CONNECTIONS NOT APPROVED PRIOR TO CONSTRUCTION INSTALLATION.

21.- IF CONNECTION DETAILS, APPROVED BY THE ENGINEER, HAVE NOT BEEN PROVIDED IN THE CONSTRUCTION DOCUMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SPECIFY AND PROVIDE ALL STRUCTURAL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, SEE ENGINEER FOR ADDITIONAL ASSISTANCE.

22.- USE SIMPSON CONNECTIONS OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

23.- SHOP DRAWINGS FOR ALL FABRICATED STEEL CONNECTIONS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. SEE GENERAL STEEL NOTES

24.- SEE GENERAL CONCRETE NOTES FOR SPECIFICATIONS OF ANCHOR BOLTS, ETC. IN NO CASE THE MUD SILL BE NOTCHED FOR THE INSTALLATION OF PLATE WASHERS,OR FOR ANY OTHER REASON.

25.- ALL STRUCTURAL MEMBERS SHALL HAVE 1-3/4" MINIMUM BEARING.

26.- FOR ADDITIONAL NAILING PATTERN, SEE SCHEDULES IN THE INTERNATIONAL BUILDING CODE. (I.B.C.)

WOOD TRUSSES

27.- THE TRUSSES SHALL ALSO BE DESIGNED PER THE 2018 IBC., AND LOCAL ORDINANCES. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND FABRICATION OF THE PRE-ENGINEERED TRUSESS, PER THE DESIGN CRITERIA. DESIGN MUST TAKE INTO ACCOUNT UNBALANCED SNOW LOADS, SNOW DRIFTING, INCREASED SNOW LOADS ON EAVES AND IN VALLEYS, IMPACT LOAD FROM FALLING SNOW AND ICE, ETC.

28.- THE PROJECT ENGINEER, OR ENGINEER OF RECORD, IS NOT RESPONSIBLE FOR THE DESIGN OF THE PRE-ENGINEERED TRUSSES, NOR FOR THE INSTALLATION, ETC. SHOP DRAWINGS FOR ALL WOOD TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

29.- ALL TRUSS TO TRUSS AND TRUSS TO STRUCTURAL BEAM CONNECTORS SHALL BE SPECIFIED BY TRUSS MANUFACTURER.

30.- THE TRUSSES SHALL BE DESIGNED TO CARRY ADDITIONAL LOADS DUE TO MECHANICAL UNITS, OVERHEAD DOORS, ROOF OVERBUILDS,ETC. SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

31.- ALL MEMBERS SHALL BE DESIGNED FOR COMBINED STRESSES, BASED ON THE WORST LOADING CONDITION.

32.- BOTTOM CHORDS OF TRUSSES, ACTING AS CEILING MEMBERS, MUST BE ABLE TO SUPPORT A 10 PSF LOAD PER IBC REQUIEREMENTS

33.- EACH CHORD SECTION SHALL BE INVOLVED IN TWO PANEL POINTS BEFORE BEING SPLICED

34.- PROVIDE 1/2"CAMBER FOR EACH 6 FEET OF TRUSS UNLESS NOTED OTHERWISE.

REVIEWED FOR CODE COMPLIANCE

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ochoac on behalf of the Building Official 02/15/2023 10:50:05 AM

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CONCRETE/REINFORCING STEEL

1.- CONCRETE COMPRESSIVE STRENGTH IN 28 DAYS:

SIDEWALKS, CURBS AND GUTTERS. . . . . 2500 PSI.NORMALWEIGHT
COLUMNS, BASEMENT WALLS, SITE WALLS . . . 4000 PSI, NORMAL WEIGHT
SLAB ON GRADE, FOOTINGS, GRADE BEAMS. . . 3000 PSI, NORMAL WEIGHT
ALL THE SLABS ON GRADE SHALL BE REINFORCED WITH FIBERMESH

2.- REINFORCING:
ASTM A615 - GRADE 60.
ALL REINFORCING TO BE WELDED - ASTM A706.
WELDED WIRE FABRIC - ASTM A185 (FLAT SHEETS ONLY)

3.- GROUT UNDER BASE PLATES TO BE HIGH STRENGTH, NON-SHRINK.

4.- REFER TO THE DRAWINGS FOR REINFORCING LAP REQUIREMENTS, WHERE LAP SPLICES ARE NOT SHOWN, LAP PER ACI 318 OR CRSI STANDARDS.

5.- LAP WELDED WIRE FABRIC SHEETS 8" MINIMUM.

6.- CLEAR COVER FROM FACE OF CONCRETE:
CAST IN PLACE CONCRETE(measure to outermost reinforcing):
WALLS, PEDESTALS . . . . . 2"
COLUMNS (edge of ties) . . . . . 1-1/2"
FOOTINGS, ... 3"
SLABS EXPOSED TO EARTH AND WEATHER . . .1-1/2"
ELEVATED SLABS . . . . . 3/4"
GRADE BEAMS (edge of stirrups) . . 1-1/2" TOP, 3" BOT, 3" SIDES

7.- PROVIDE REINFORCING IN SLABS ON GRADE, 1-1/2" FROM TOP OF SLAB:
4" SLABS 6x6-W2.1xW2.1

8.- WHERE SCHEDULED BARS ARE NOT PRESENT, PROVIDE CONTINUOUS #5 TOP AND BOTTOM BARS TO SUPPORT STIRRUPS AS REQUIRED FOR THE LENGTH OF THE STIRRUP SPACING IN ALL BEAMS.

9.- WALL FOOTING REINFORCING SHALL BE CONTINUOUS THROUGH ADJACENT COLUMN FOOTINGS.

10.- PROVIDE VERTICAL DOVETAIL SLOTS AT 24" OC WITH TIES AT 16" OC IN ALL CONCRETE WALLS BACKING-UP MASONRY VENEER.

11.- BAR SUPPORTS FOR CONCRETE EXPOSED TO VIEW SHALL HAVE PLASTIC COATED LEGS OR BE HOT DIP GALVANIZED AFTER FABRICATION.

12.- MECHANICAL AND ELECTRICAL CONDUIT IN SLABS SHALL RUN UNDER TOP LAYER OF SLAB REINFORCING. PROVIDE A MINIMUM OF 1-1/2" CLEAR BETWEEN CONDUITS AND BETWEEN REINFORCING AND ADJACENT CONDUITS PARALLEL TO REINFORCING. IF MAXIMUM SIZE OF CONDUIT EXCEEDS ONE THIRD OF THE SLAB DEPTH, ADDITIONAL FRAMING OR REINFORCING MAY BE NECESSARY AT ENGINEERS DISCRETION.

13.- HEADED CONCRETE ANCHORS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A108, GRADES 1010, 1015, 1017, OR 1020. STUDS SHALL BE AUTOMATICALLY END WELDED IN THE SHOP OR FIELD IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

14.- EMBED PLATES MUST BE SET IN THE FORM BEFORE POURING CONCRETE, NOT PLACED INTO TOP OF WET CONCRETE. THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CORRECTIVE DETAILS FOR ANY EMBED PLATES LEFT OUT OF CONCRETE POURS.

15.- FOR SLABS ON GRADE, SLAB AND GRADE BEAM REINFORCING SHALL BE HELD IN PLACE BY BAR SUPPORTS WITH SAND PLATES, OR PRECAST CONCRETE BAR SUPPORTS AS DESCRIBED IN CHAPTER 3 OF THE CRSI MANUAL OF STANDARD PRACTICE. BAR SUPPORTS SHALL BE SPACED AT A MAXIMUM OF 4'-0" OC BOTH WAYS. ROCKS, CMU, OR CLAY BRICK WILL NOT BE USED AS SUPPORTS.

16.- REBAR SHALL NOT BE HEATED WITH A TORCH IN THE FIELD.

17.- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER FAR ENOUGH IN ADVANCE (48 HOURS) OF EACH CONCRETE POUR TO ALLOW AMPLE TIME TO CHECK THE LAYOUT OF THE STEEL BEFORE THE BEGINNING OF THE ACTUAL POUR, BUT NOT PRIOR TO 90% OF THE STEEL HAVING BEEN PLACED.

CONCRETE CONSTRUCTION JOINTS

1.- CONTRACTOR SHALL PROVIDE NECESSARY CONSTRUCTION JOINTS IN MONOLITHIC CONCRETE POURS SO THAT THE QUALITY OF PLACEMENT AND FINISH MEETS THE REQUIREMENTS OF PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT A PLAN SHOWING THE LOCATION OF ALL CONSTRUCTION JOINTS TO THE STRUCTURAL ENGINEER FOR APPROVAL.

2.- THERE SHALL BE NO HORIZONTAL CONSTRUCTION JOINTS IN CONCRETE POURS. ALL VERTICAL CONSTRUCTION JOINTS IN SLABS AND BEAMS SHALL BE MADE WITH BULKHEADS. ADDITIONAL REINFORCING AT CONSTRUCTION JOINTS SHALL BE AS SPECIFIED BY THE STRUCTURAL ENGINEER. SEE TYPICAL CONSTRUCTION JOINT DETAILS.

STRUCTURAL STEEL

1.- STRUCTURAL STEEL:
WIDE FLANGE SHAPES (W SECTIONS) - ASTM A992, GRADE 50, FY= 50 KSI
CHANNELS, ANGLES, PLATES, RODS, AND BARS - A36, FY = 36 KSI
SQUARE AND RECTANGULAR TUBES ASTM A500 - GRADE B, FY= 46 KSI
PIPES ASTM A53- GRADE B, FY= 36 KSI

2.- ANCHOR BOLTS AND THREADED RODS SHALL CONFORM TO ASTM A36 OR A307.

3.- DESIGN, FABRICATION AND ERECTION: AISC MANUAL OF STEEL CONSTRUCTION, ASD.

4.- BEAM SIMPLE, SHEAR CONNECTIONS NOT DETAILED ON STRUCTURAL DRAWINGS SHALL BE DESIGNED BY STEEL SUPPLIER FOR LOADS SHOWN ON DRAWINGS OR FOR REACTIONS DETERMINED BY USING THE ALLOWABLE UNIFORM LOAD AS TABULATED IN PART 2 OF THE AISC MANUAL OF STEEL CONSTRUCTION FOR THE SECTION, SPAN AND STRENGTH OF STEEL SPECIFIED.
CONNECTIONS: 3/4" DIAMETER BOLTS, ASTM A325 TIGHTENED TO A SNUGTIGHT CONDITION PER AISC REQUIREMENTS.

5.- WHERE STEEL MEMBERS ARE WELDED AND NO SIZE IS SPECIFIED, PROVIDE FULL LENGTH FILLET WELDS BOTH SIDES OF MEMBER. WELD SIZES SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

MEMBER THICKNESS (INCHES).	WELD SIZE (INCHES)
3/16	3/16
1/4.	3/16
5/16	3/16
3/8.	.1/4
7/16	.1/4
1/2.	.5/16
9/16	3/8
5/8.	.7/16

6.- SPLICING OF STRUCTURAL STEEL MEMBERS IS PROHIBITEDBITED WITHOUT PRIOR APPROVAL OF THE ENGINEER AS TO LOCATION AND TYPE OF SPLICE TO BE MADE. ANY MEMBER HAVING A SPLICE NOT SHOWN AND DETAILED ON SHOP DRAWINGS WILL BE REJECTED.

7.- ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE. USE E70 SERIES ELECTRODES FOR ALL STRUCTURAL STEEL WELDS.

8.- SEE THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL ITEMS REQUIRED TO BE HOT-DIP GALVANIZED AFTER FABRICATION.

9.- STRUCTURAL STEEL SHALL BE PUNCHED FOR WOOD BLOCKING, NAILERS, CLIPS AND TIES IN ACCORDANCE WITH ARCHITECTURAL/STRUCTURAL DETAILS.

10.- ALL STEEL EXPOSED TO VIEW SHALL BE CLASSIFIED AS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) AS DEFINED BY THE AISC CODE OF STANDARD PRACTICE AND SHALL BE TREATED AS SUCH.

EPOXY AND EPOXY GROUT

1.- ANCHOR BOLTS, REINFORCING STEEL, THREADED RODS, STAIR HANDRAILS, AND OTHER EMBEDDED STEEL ITEMS SHALL BE SET INTO HARDENED CONCRETE WITH EPOXY OR EPOXY GROUT ONLY WHERE DETAILED ON THE DRAWINGS OR WHERE APPROVED BY THE ENGINEER.

2.- MANUFACTURER'S DATA FOR ALL EPOXY AND EPOXY GROUT SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
ACCEPTABLE EPOXY PRODUCTS ARE:
HILTI HY150, HILTI HSE2421, MASTER BUILDERS CONCRESIVE STANDARD PASTE, SIMPSON STRONG-TIE ET OR APPROVED EQUAL. IN USING THE ABOVE PRODUCTS, FOLLOW STRICTLY THE MANUFACTURER'S SPECIFICATIONS AND DIRECTIONS FOR MIXING AND APPLICATION. HEED ALL LABEL WARNINGS. INSTALL IN ACCORDANCE WITH APPLICABLE SAFETY LAWS.

3.- ALL EPOXY AND EPOXY GROUT SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 8,000 PSI AND TENSILE STRENGTH OF 2,300 PSI.

4.- ALL HOLES SHALL BE DRILLED WITH A DIAMETER NO LARGER THAN 1/8" GREATER THAN THE DIAMETER OF THE STEEL MEMBER BEING INSTALLED.

5.- ALL HOLES SHALL BE CLEANED WITH COMPRESSED AIR AND SHALL BE DRY PRIOR TO INSTALLATION OF EPOXY. HOLES SHALL BE FREE OF ALL DELETERIOUS MATERIAL SUCH AS LAITANCE, DUST, DIRT, AND OIL.

PREFABRICATED WOOD TRUSSES

1. LOADS:

PITCH ROOF 4/12 OR LESS:	
ROOF DEAD LOAD	16 PSF
ROOF LIVE LOAD	20 PSF
PITCH ROOF MORE THAN 4/12:	
ROOF DEAD LOAD	23 PSF
ROOF LIVE LOAD	16 PSF
RESIDENTIAL BASIC FLOOR AREA:	
FLOOR DEAD LOAD	15 PSF
FLOOR LIVE LOAD	40 PSF
RESIDENTIAL EXTERIOR BALCONIES:	
FLOOR DEAD LOAD	25 PSF
FLOOR LIVE LOAD	60 PSF
STAIR AND EXIT BALCONY LIVE LOAD	100 PSF
STORAGE LIVE LOAD	125 PSF

2. IT SHALL BE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER FOR THE COMPLETE DESIGN, FABRICATION AND ERECTION PROCEDURES FOR THE FOLLOWING ITEMS; ALL TRUSSES, BLOCKING, INCIDENTAL FRAMING, FRAMING FOR OPENINGS NOT SHOWN ON DRAWINGS, TEMPORARY AND PERMANENT BRACING AND BRIDGING, CONNECTIONS AND HOLDOWN ANCHORS. ALSO ALL OTHER ITEMS OF THE PERTAINING TO THE COMPLETE AND SAFE INSTALLATION TRUSS SYSTEM. TRUSS CONFIGURATIONS ARE SHOWN ON DRAWINGS.

3. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH 2018 IBC TO SUPPORT THEIR OWN WEIGHT PLUS SUPERIMPOSED DEAD, LIVE, SNOW AND LATERAL LOADS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS SEALED BY A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA FOR REVIEW PRIOR TO MANUFACTURE. CALCULATIONS AND SHOP DRAWINGS SHALL INCLUDE BUT NOT BE LIMITED TO DESIGN LOADS, ALLOWABLE STRESSES, STRESS DIAGRAMS, TRUSS TO TRUSS CONNECTIONS, SPECIAL BEARING OR CONNECTION.

4. LIVE LOAD DEFLECTIONS SHALL BE LIMITED TO SPAN/3-0 AT SIMPLE SPAN MEMBERS. TOTAL LOAD DEFECTION SHALL BE LIMITED TO L/360 FOR EXTERIOR SOFFITS, ROOF TRUSS DURATION OF LOAD FACTOR SHALL FOR EXTERIOR SOFFITS, ROOF TRUSS DURATION OF LOAD FACTOR SHALL BE 1.25. ALL TRUSSES SHALL BE CAMBERED FOR 1.5 TIMES THE DESIGN DEAD LOAD.

5. TRUSS MANUFACTURER SHALL PROVIDE BRACING AND BRIDGING SIZES AND SPACING IN ACCORDANCE WITH THE LATEST RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE (TPI). MINIMUM REQUIREMENTS ARE SHOWN ON THE DRAWINGS . INSTALL AND LAP BRACING AND BRIDGING PER LATEST TPI RECOMMENDATIONS.

6. IT SHALL BE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO DESIGN ALL TRUSS TO TRUSS CONNECTIONS. CALCULATIONS AND DETAILS FOR CONNECTIONS SHALL BE SUBMITTED FOR REVIEW PRIOR TO CONSTRUCTION AND SEALED BY A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA.

VEGA & VEGA ENGINEERING PLLC
2619 S. AVE. 2 ¼ E. STE. 3 YUMA, AZ. 85365
928-329-0000 TEL 928-247-6232 FAX
VnV@vegaNvega.com

General Structural Notes

Arizona Ave. & 20th Street Apartment Complex

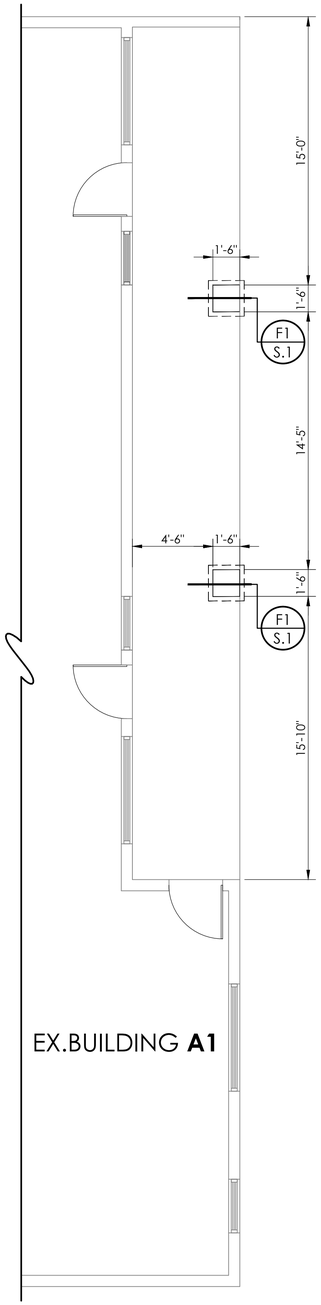
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Civil)
CERTIFICATE NO.
50476
Vianey R. Vega
Date Signed 12-13-22
Arizona, U.S.A.

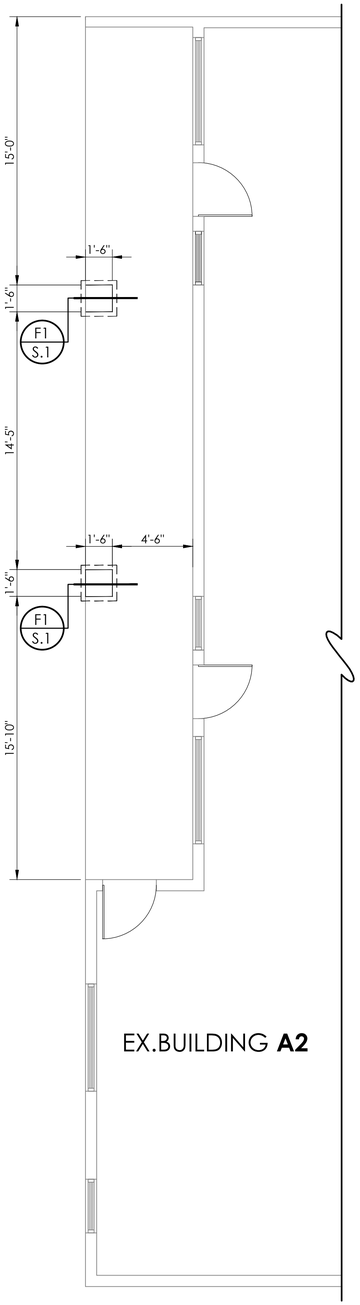
Notes:

Scale: As Shown | Date: DEC. 2022
Drawn: STAFF | Job #: VnV22-500
Design: Vna.

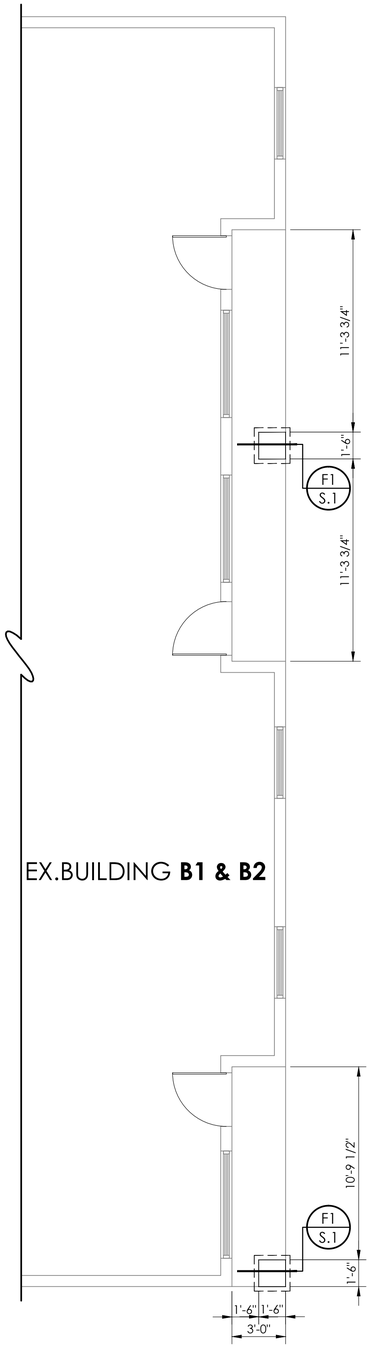
Sheet
S.0



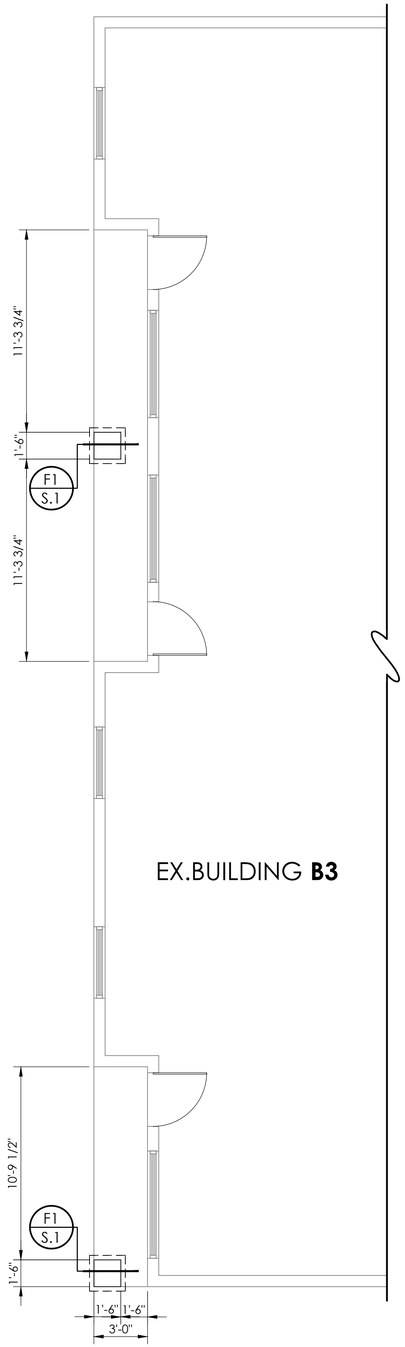
EX.BUILDING **A1**



EX.BUILDING **A2**



EX.BUILDING **B1 & B2**



EX.BUILDING **B3**

BUILDING A1 FOUNDATION PLAN

SCALE= $\frac{1}{4}$: 1'- 0"

BUILDING A2 FOUNDATION PLAN

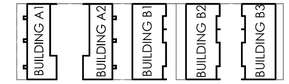
SCALE= $\frac{1}{4}$: 1'- 0"

BUILDING B1 & B2 FOUNDATION PLAN

SCALE= $\frac{1}{4}$: 1'- 0"

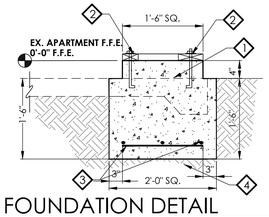
BUILDING B3 FOUNDATION PLAN

SCALE= $\frac{1}{4}$: 1'- 0"



BUILDINGS KEY PLAN

NORTH



KEYNOTES:

1. EXISTING CONCRETE SLAB TO BE SAW CUT AND REMOVED TO ALLOW FOR NEW FOOTING AS NEEDED.
2. 2x4 TREATED PLATE W/ MIN. (2) ⅝" DIA. x 10" A.B. EACH SIDE OF COLUMN W/ 3" X 3" X ¼" " THK WASHER PLATE.
3. (3) #4 EACH WAY @ BOTTOM
4. COMPACTED MIN. 24" CLEAN MESA SAND SUB-GRADE

FOUNDATION DETAIL

N.T.S.

F1

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ochoac on behalf of the Building Official 02/15/2023 10:50:05 AM

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YUMA, AZ. 85365 928-247-6232 FAX
VnV@vegaNvega.com

T.I. Building A1, A2, B1, B2 & B3 Foundation Plan
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Vianey R. Vega
Registered Professional Engineer (Civil)
CERTIFICATE NO. 50476
Date Signed 12-12-22
Arizona U.S.A.

Notes:

Scale: As Shown	Date:DEC. 2022
Drawn: STAFF	Job #:VnV22-500
Design: Vna.	

Sheet

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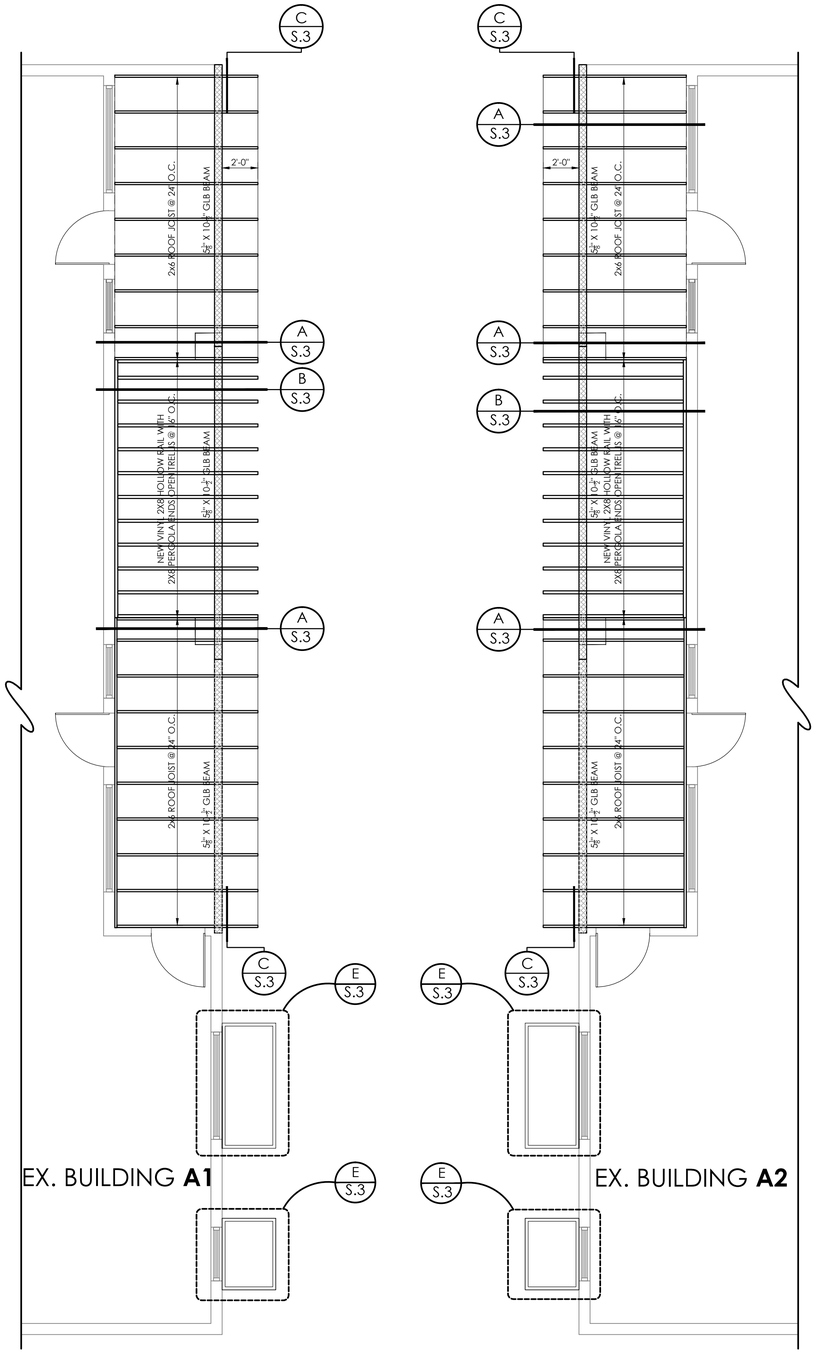

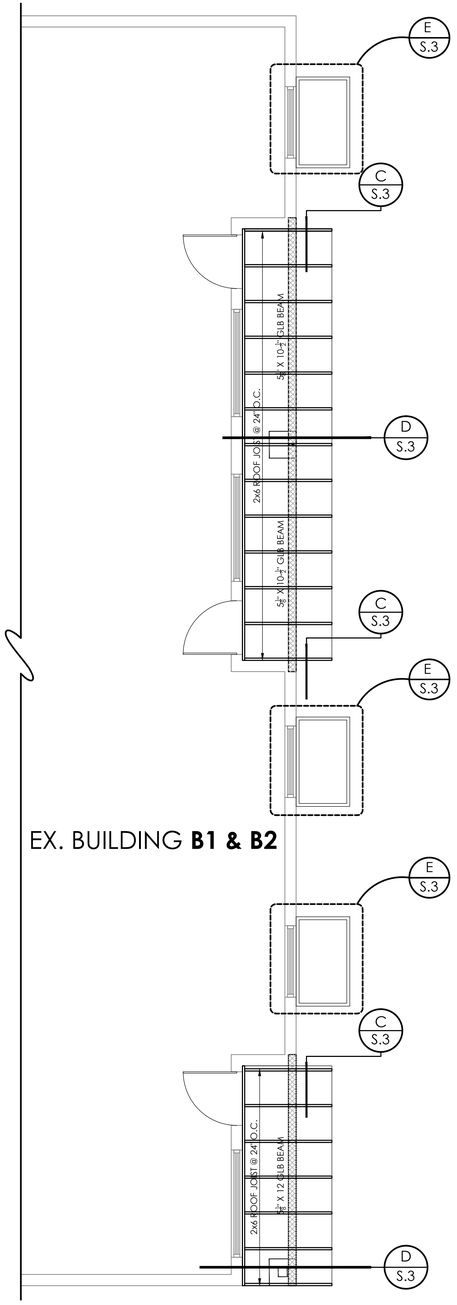

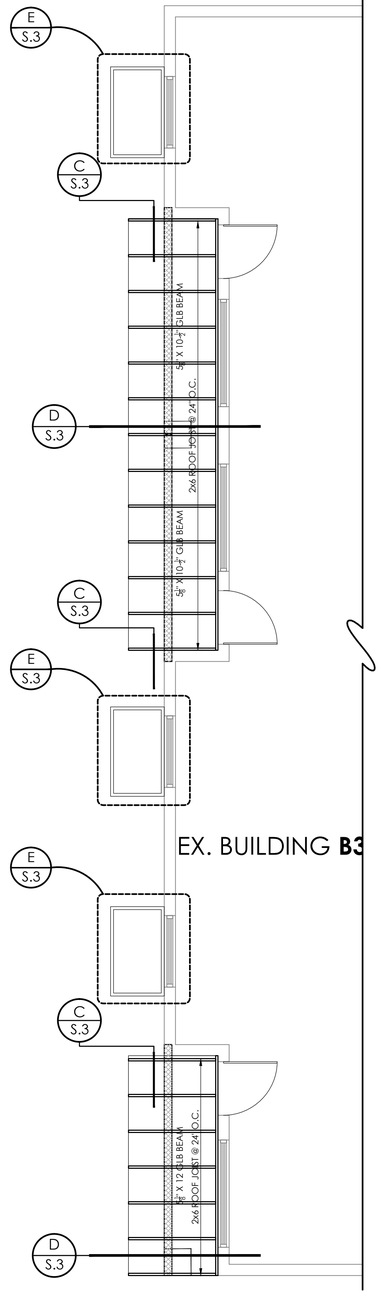

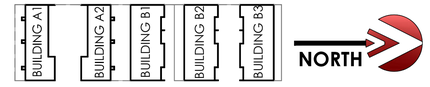

BUILDINGS KEY PLAN

T.I. BUILDING A1 ROOF FRAMING PLAN

SCALE= 1/4" : 1'- 0"

T.I. BUILDING A2 ROOF FRAMING PLAN

SCALE= 1/4" : 1'- 0"

T.I. BUILDING B1 & B2 ROOF FRAMING PLAN

SCALE= 1/4" : 1'- 0"

T.I. BUILDING B3 ROOF FRAMING PLAN

SCALE= 1/4" : 1'- 0"

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T.I. Building A1, A2, B1, B2 & B3
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

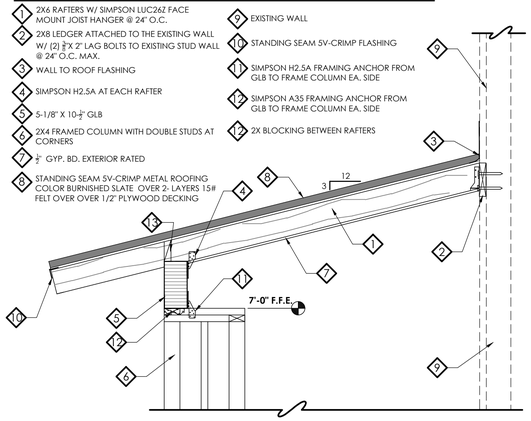
Notes:

Scale: As Shown | Date: DEC. 2022
Drawn: STAFF | Job #: VnV22-500
Design: Vna.

Sheet
S.2

KEYNOTES:

1. 2X6 RAFTERS W/ SIMPSON LUC26Z FACE MOUNT JOIST HANGER @ 24" O.C.
2. 2X8 LEDGER ATTACHED TO THE EXISTING WALL W/ (2) ⅜"X 2" LAG BOLTS TO EXISTING STUD WALL @ 24" O.C. MAX.
3. WALL TO ROOF FLASHING
4. SIMPSON H2.5A AT EACH RAFTER
5. 5-1/8" X 10-½" GLB
6. 2X4 FRAMED COLUMN WITH DOUBLE STUDS AT CORNERS
7. ½" GYP. BD. EXTERIOR RATED
8. STANDING SEAM 5V-CRIMP METAL ROOFING COLOR BURNISHED SLATE OVER 2- LAYERS 15# FELT OVER OVER 1/2" PLYWOOD DECKING
9. EXISTING WALL
10. STANDING SEAM 5V-CRIMP FLASHING
11. SIMPSON H2.5A FRAMING ANCHOR FROM GLB TO FRAME COLUMN EA. SIDE
12. SIMPSON A35 FRAMING ANCHOR FROM GLB TO FRAME COLUMN EA. SIDE
13. 2X BLOCKING BETWEEN RAFTERS

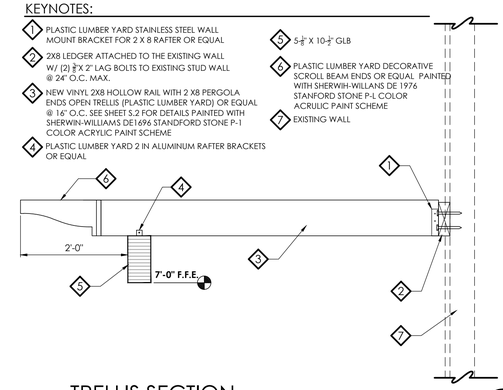


COVERED PATIO SECTION (A)

¾" = 1'-0"

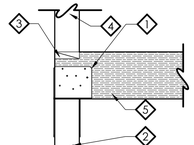
KEYNOTES:

1. PLASTIC LUMBER YARD STAINLESS STEEL WALL MOUNT BRACKET FOR 2 X 8 RAFTER OR EQUAL
2. 2X8 LEDGER ATTACHED TO THE EXISTING WALL W/ (2) ⅜"X 2" LAG BOLTS TO EXISTING STUD WALL @ 24" O.C. MAX.
3. NEW VINYL 2X8 HOLLOW RAIL WITH 2 X8 PERGOLA ENDS OPEN TRELLIS (PLASTIC LUMBER YARD) OR EQUAL @ 16" O.C. SEE SHEET S.2 FOR DETAILS PAINTED WITH SHERWIN-WILLIAMS DE1696 STANDFORD STONE P-1 COLOR ACRYLIC PAINT SCHEME
4. PLASTIC LUMBER YARD 2 IN ALUMINUM RAFTER BRACKETS OR EQUAL
5. 5-¼" X 10-½" GLB
6. PLASTIC LUMBER YARD DECORATIVE SCROLL BEAM ENDS OR EQUAL PAINTED WITH SHERWIH-WILLANS DE 1976 STANFORD STONE P-L COLOR ACRYLIC PAINT SCHEME
7. EXISTING WALL



TRELLIS SECTION (B)

3/4" = 1'-0"

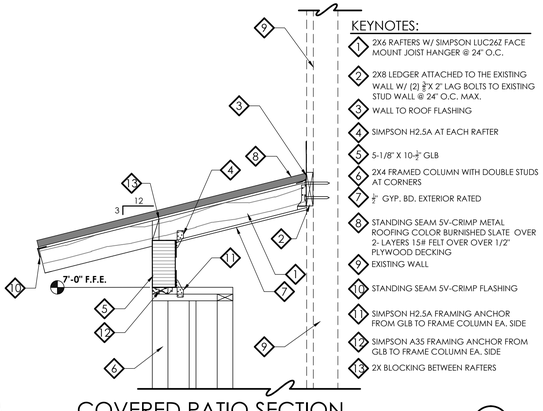


KEYNOTES:

1. NEW SIMPSON ECCQ5-6SDS2.5 COLUMN CAP
2. NEW 4X6 POST INSIDE EXISTING WALL
3. NEW 2X BLOCKING TO EXISTING STUD
4. NEW DOUBLE 2 X STUDS ABOVE BEAM TO TOP OF WALL
5. NEW 5-¼" X 10-½" G.L.B.

NEW BEAM TO WALL (C)

3/4" = 1'-0"

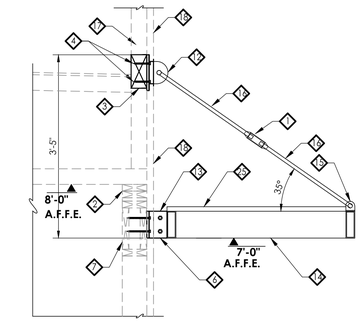


KEYNOTES:

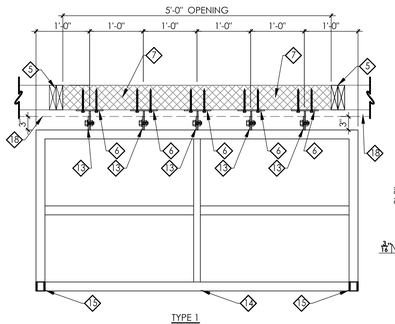
1. 2X6 RAFTERS W/ SIMPSON LUC26Z FACE MOUNT JOIST HANGER @ 24" O.C.
2. 2X8 LEDGER ATTACHED TO THE EXISTING WALL W/ (2) ⅜"X 2" LAG BOLTS TO EXISTING STUD WALL @ 24" O.C. MAX.
3. WALL TO ROOF FLASHING
4. SIMPSON H2.5A AT EACH RAFTER
5. 5-1/8" X 10-½" GLB
6. 2X4 FRAMED COLUMN WITH DOUBLE STUDS AT CORNERS
7. ½" GYP. BD. EXTERIOR RATED
8. STANDING SEAM 5V-CRIMP METAL ROOFING COLOR BURNISHED SLATE OVER 2- LAYERS 15# FELT OVER OVER 1/2" PLYWOOD DECKING
9. EXISTING WALL
10. STANDING SEAM 5V-CRIMP FLASHING
11. SIMPSON H2.5A FRAMING ANCHOR FROM GLB TO FRAME COLUMN EA. SIDE
12. SIMPSON A35 FRAMING ANCHOR FROM GLB TO FRAME COLUMN EA. SIDE
13. 2X BLOCKING BETWEEN RAFTERS

COVERED PATIO SECTION (D)

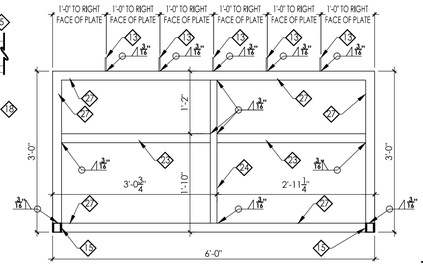
¾" = 1'-0"



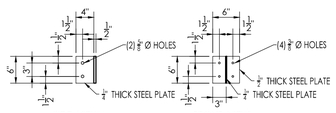
CROSS SECTION DETAIL



TYPE 1

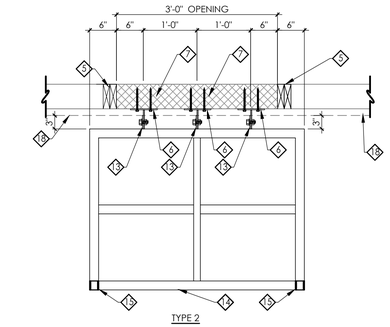


TYPE 1 "TOP VIEW"



STEEL SHADE BEAM PLATE DETAIL (2)

¾" = 1'-0"



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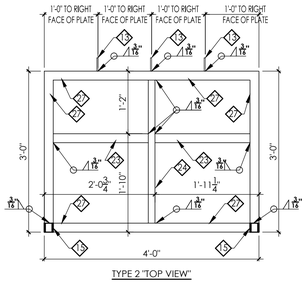

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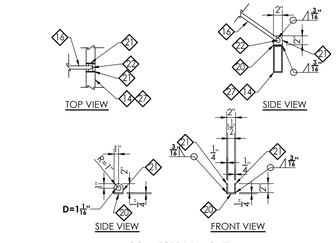
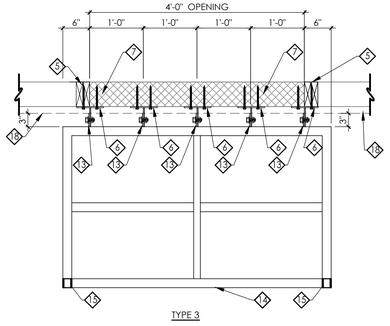


CONNECTOR BRACKET

LOWER CONNECTOR BRACKET DETAIL (3)

¾" = 1'-0"



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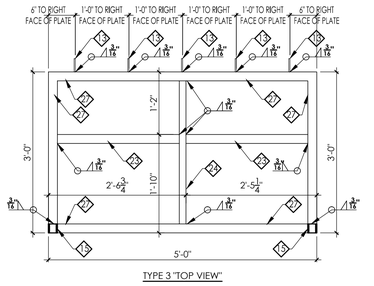
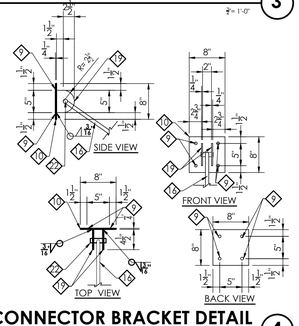
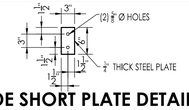


TYPE 3 "TOP VIEW"



UPPER CONNECTOR BRACKET DETAIL (4)

¾" = 1'-0"



STEEL SHADE SHORT PLATE DETAIL (5)

¾" = 1'-0"

PLAN VIEW STEEL SHADE (@ WALL CONNECTION)

¾" = 1'-0"

STEEL SHADE FRAME DETAIL (1)

¾" = 1'-0"

KEYNOTES:

1. ¾" Ø ALL-THREAD ROD & TURNBUCKLE
2. EXISTING DOUBLE 2 X 6 CONTINUOUS TOP PLATES
3. NEW 4 X 6 BETWEEN EXISTING TRUSSES W/ SIMPSON A35 FRAMING ANCHOR EA. SIDE
4. (4) ¾" Ø LAG BOLTS PRE-DRILLED
5. DOUBLE 2 X 6 KING POST
6. STEEL SHADE BEAM PLATE DETAIL SEE 2/S.3 W/ (4) ¾" Ø LAG BOLTS PRE-DRILLED @ EA. PLATE
7. EXISTING WINDOW HEADER
8. SIMPSON LCE4 POST CAP @ HEADER
9. ⅜" DIA. HOLES
10. 8" X 8" X ¾" THK. STEEL PLATE SEE FRONT VIEW AND BACK VIEW ON DETAIL 4/S.3
11. DOUBLE 2 X4 VERTICAL WEB TRUSS MEMBER PROVIDED AT MID-POINT OF DOUBLE STRUCTURAL GABLE END TRUSS
12. UPPER METAL SHADE CONNECTOR BRACKET SEE DETAIL --- 4/S.3
13. 3" X 6" X ¾" STEEL PLATE SEE DETAIL -- 5/S.3 WELDED TO STEEL SHADE FRAME W/ (2) 1/2" Ø BOLTS W/ WASHER AND LOCK NUT
14. SHADE FRAME - SEE DETAIL 1/S.3
15. LOWER METAL SHADE CONNECTOR BRACKET SEE DETAIL -- 3/S.3
16. ¾" Ø ALL-THREAD STEEL ROD
17. EXISTING PRE-MANUFACTURERED WOOD TRUSSES
18. EXISTING STUCCO OVER FRAME WALL
19. ¼" THK. STEEL PLATE
20. 2" X 2" X ¾" THK. STEEL PLATE SEE DETAIL -- 3/S.2(LOWER PORTION)
21. ¾" THK. STEEL PLATE SEE DETAIL -- 3/S.3 (LOWER PORTION)
22. 1" Ø STEEL ROD
23. 1½" X ⅜" THK. STEEL FLAT BAR
24. 1½" X 1½" X ⅜" STEEL ANGLE
25. 22 GA. CORRUGATED METAL ROOFING PANEL B DECK SCREW TO FRAME
26. (2) ¾" Ø X 6" LONG LAG BOLTS PRE-DRILLED @ EA. PLATE
27. 2" X 6" X ⅜" TS. RECTANGULAR TUBING FRAME

STEEL SHADE & WALL CROSS SECTION DETAIL (E)

¾" = 1'-0"

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VnV@vegaNvega.com

T.I. Structural Construction Details
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Civil)
CERTIFICATE NO.
50476
Vlaney R. Vega
Date Signed 12-15-22
ARIZONA, U.S.A.

Notes:

Scale: As Shown | Date:DEC. 2022
Drawn: STAFF | Job #:VnV22-500
Design: Vna.

Sheet

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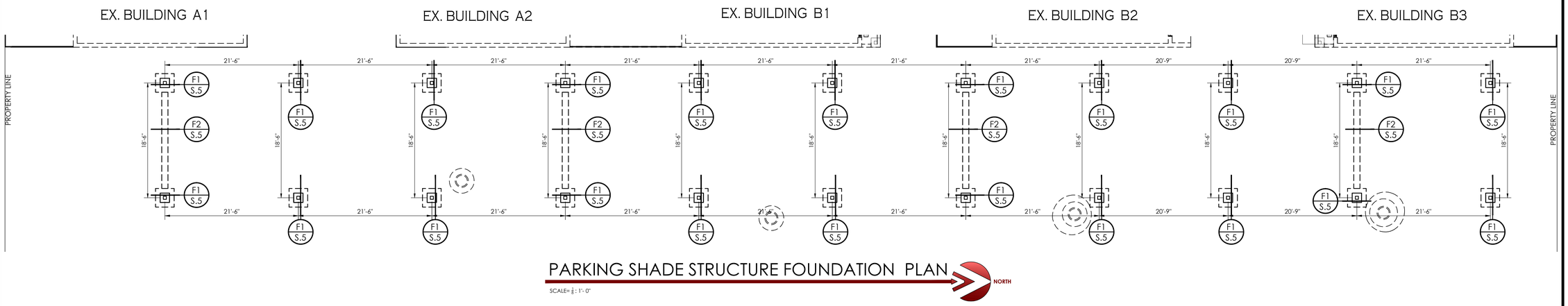


PARKING SHADE STRUCTURE FOUNDATION PLAN

SCALE= 1/8 : 1'- 0"

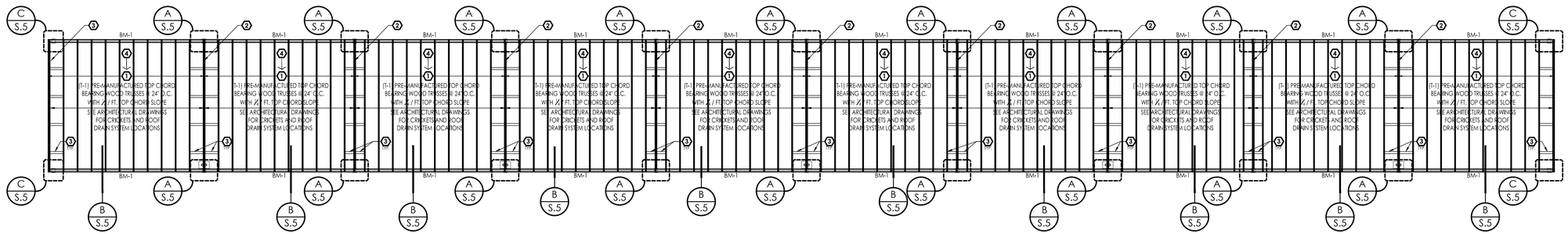
NORTH

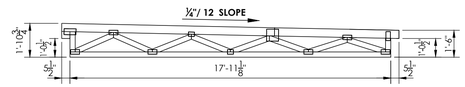
FRAMING NOTES

1. USE 1/2" PLYWOOD OR OSB ROOF SHEATHING WITH 8D NAILS BOUNDARY SPACING @ 6" O.C., @ EDGE SPACING 6" O.C. AND FIELD SPACING @ 12" O.C.
2. PRE-MANUFACTURED WOOD TOP CHORD BEARING TWO-PLY GIRDER ROOF TRUSS PLACE AT CENTER OF BEAM SADDLE SEE DETAIL A/S.1 FOR CONNECTION
3. PRE-MANUFACTURED WOOD TOP CHORD BEARING TWO-PLY GIRDER ROOF TRUSS PLACE @ END BEAM SEE DETAIL C/S.1
1. DENOTES ROOF SLOPE DIRECTION DOWN OF A MINIMUM 1/4"/FT.

HEADER/BEAM JOIST SCHEDULE

DESIGNATION	SIZE	TYPE
BM-1	5-1/8 X 13-3/4	G.L.B.





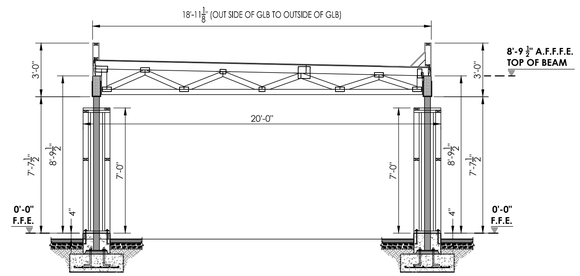
"T1"

SCALE= 1/2 : 1'- 0"

PARKING SHADE ROOF STRUCTURE PLAN

SCALE= 1/8 : 1'- 0"

NORTH



PARKING SHADE STRUCTURE CROSS SECTION

SCALE= 1/4 : 1'- 0"

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928-329-0000 TEL
928-247-6232 FAX
VnV@vegaNVega.com

Parking Shade Structure Foundation & Framing Plan
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Civil)
CERTIFICATE NO.
50476
Vianey R. Vega
Date Signed 12-13-22
Arizona U.S.A.

Notes:

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Drawn: STAFF	Job #:VnV22-500
Design: Vna.	

Sheet

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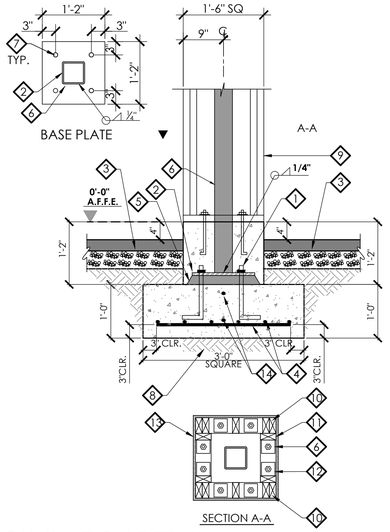


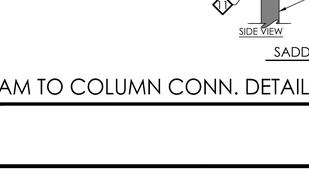
KEYNOTES:

1. (4) 7/8"Ø ANCHOR BOLTS W/ MIN. 9" EMBEDMENT INTO FOOTING
2. 14" x 14" x $\frac{3}{8}$" THK STEEL BEARING PLATE (SEE DETAIL LEFT)
3. ASPHALT PAVEMENT SEE CIVIL FOR DETAILS
4. #5 @ 6" O.C. E.W.
5. 2" DRY PACK
6. HSS 6 x 6 x 1/4" STEEL COLUMN
7. (4) 1" Ø HOLES
8. 12" NATIVE SOIL COMPACTED TO 95%
9. 2x4 FRAME COLUMN SEE SECTION A-A BELOW FOR DETAILS
10. DOUBLE 2x4 STUD AT ALL CORNERS
11. 2x4 STUDS W/ BLOCKING @ 48" O.C.
12. 2x4 TREATED PLATE W/MIN. (2) ½" DIA. x 10" A.B. EACH SIDE OF COLUMN W/ 3"x3"x¼" THK. WASHER PLATE
13. ½" O.S.B. OR PLYWOOD SHEATING FULL HEIGHT OF COLUMN
14. (2) # 5 CONT. REBARS FROM TIE FOOTING

FOUNDATION DETAIL

N.T.S.

F1



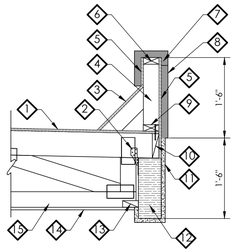
KEYNOTES:

1. ASPHALT PAVEMENT SEE CIVIL FOR DETAILS
2. 12" NATIVE SOIL COMPACTED TO 95%
3. (2) # 5 CONT. REBARS
4. # 4 VERTICAL REBAR @ 48" O.C.
5. SAW CUT PAVEMENT AND REMOVED AS NEEDED FOR CONTINUOUS TIE FOOTING

FOUNDATION DETAIL

N.T.S.

F2



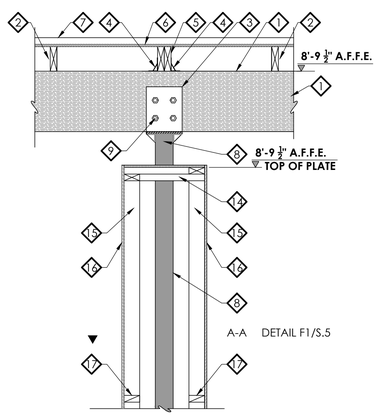
KEYNOTES:

1. 4-PLY BUILT-UP ROOF W/ FLASHING COUNTERFLASHING AND CRICKET OVER ½" OBS OR PLYWOOD SHEATHING
2. SIMPSON H2.5A FRAMING ANCHOR TO EA. TRUSS
3. $\frac{3}{8}$" OSB OR PLYWOOD CRICKETS OVER 2"X4" FRAMING @ 24" O.C.
4. 2 X 4 STUDS @ 24" O.C. PARAPET WALL
5. 1/2" O.S.B. OR PLYWOOD SHEATHING
6. CONTINUOUS 2X4 TOP PLATE
7. STANDING SEAM 5V-CRIMP METAL FLASHING
8. STANDING SEAM 5V-CRIMP METAL SHEATHING COLOR BURNISHED SLATE OVER 2- LAYERS 15# FELT OVER OVER 1/2" O.S.B. OR PLYWOOD SHEATHING
9. CONTINUOUS 2 X 4 SILL PLATE
10. 2 X BLOCKING BETWEEN TRUSSES
11. 2-COATS STUCCO SYSTEM ON LATH ON 2 LAYERS FELT
12. 5-$\frac{7}{8}$" X 13-$\frac{1}{2}$" G.L.B.
13. 2 X FLAT BLOCKING BETWEEN TRUSSES
14. $\frac{5}{8}$" GYPSUM BOARD EXTERIOR GRADE
15. PRE-MANUFACTURED TOP CHORD BEARING ROOF TRUSSES AS PER PLAN

TRUSS TO BEAM CONN. DETAIL

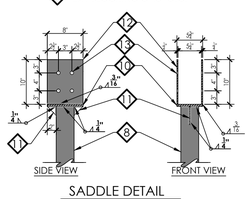
NTS

B



KEYNOTES:

1. 5$\frac{1}{8}$" X 13 $\frac{1}{2}$" G.L.B.
2. PRE-MANUFACTURED TOP CHORD BEARING ROOF TRUSSES AS PER PLAN
3. BEAM SADDLE SEE DETAIL BELOW
4. SIMPSON HGA10KT HURRICANE GUSSET ANGLE EA. SIDE OF GIRDER TRUSS
5. PRE-MANUFACTURED TOP CHORD BEARING DOUBLE GIRDER ROOF TRUSSES AS PER PLAN
6. ROOF SHEATHING AS PER PLAN
7. 2 X 4 CONTINUOUS PLATE FOR WALL PARAPET SEE DETAIL B/S.5 FOR ADDITIONAL INFORMATION
8. HSS 6 X 6 X $\frac{1}{4}$" STEEL COLUMN
9. (4) - 5/8" DIA. BOLTS W/ WASHER AND LOCK NUT
10. 5 $\frac{1}{2}$"x8"x$\frac{3}{4}$" THK. STEEL BEARING PLATE
11. $\frac{1}{4}$" THICK STEEL GUSSET PLATE
12. 8x10"x$\frac{1}{2}$" THK. STEEL PLATE
13. (4)-$\frac{3}{4}$"Ø HOLES
14. DOUBLE 2x4 TOP PLATE
15. 2x4 FRAME COLUMN SEE SECTION A-A/S.5
16. ½" O.S.B. OR PLYWOOD SHEATHING FULL HEIGHT OF COLUMN
17. 2x4 BLOCKING @ 48" O.C.

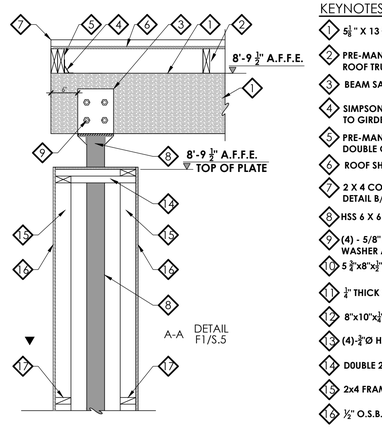


SADDLE DETAIL

BEAM TO COLUMN CONN. DETAIL

NTS

A



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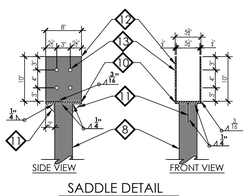

SADDLE DETAIL

BEAM TO COLUMN CONN. DETAIL

NTS

C

VEGA & VEGA ENGINEERING PLLC
2419 S. AVE. 2 ½ E. STE. 3
YUMA, AZ. 85365
928-329-0000 TEL
928-247-6232 FAX
VnV@vegaNvega.com

Parking Shade Structure Structural Details
Tenant Improvements for
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Notes:

Scale: As Shown | Date: DEC. 2022
Drawn: STAFF | Job #: VnV22-500
Design: Vna.

Sheet

S.5

REVIEWED FOR CODE COMPLIANCE

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ochoac on behalf of the Building Official 02/15/2023 10:50:06 AM

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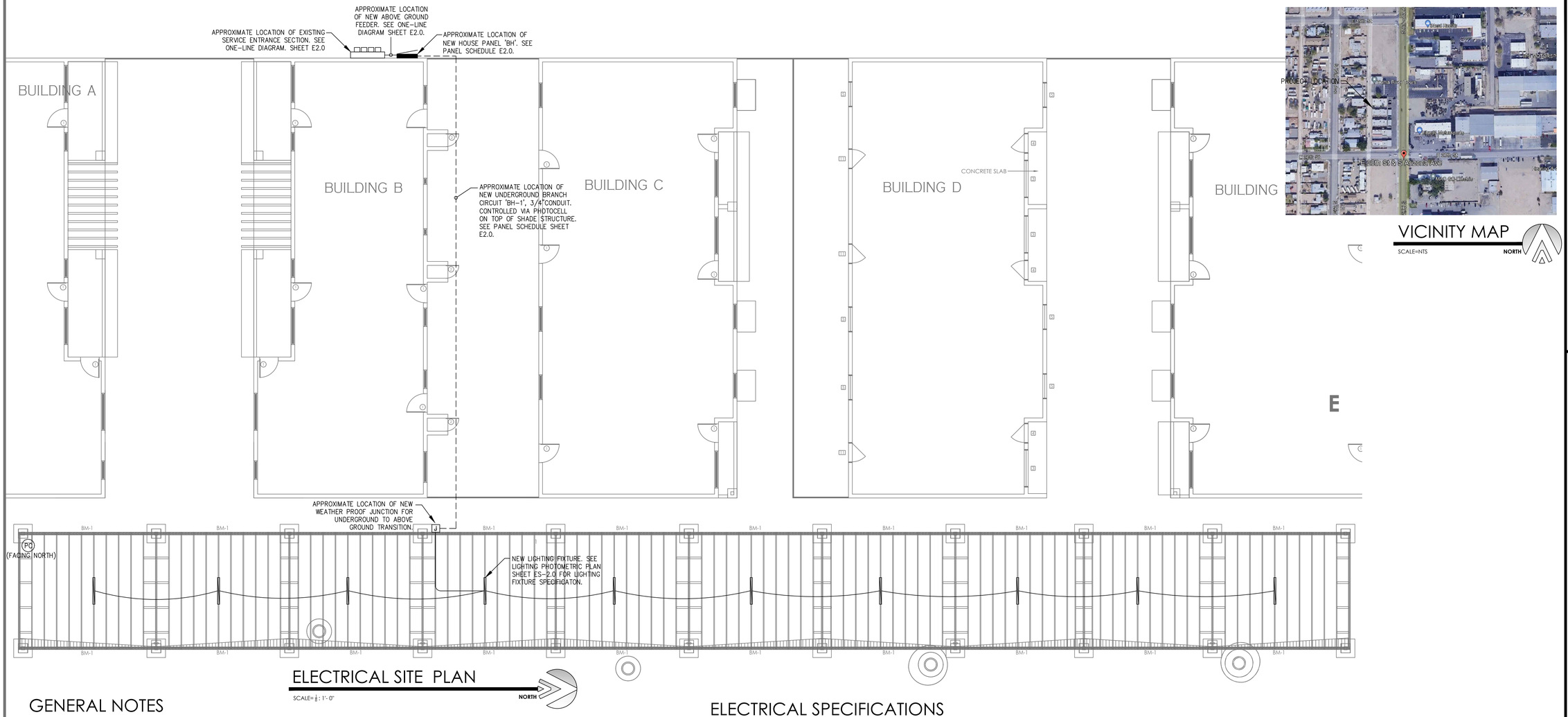

ELECTRICAL SITE PLAN

SCALE= $\frac{1}{8}$: 1'- 0"

NORTH

VICINITY MAP

SCALE=NTS NORTH

GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP TO BE HIGH QUALITY. MATERIALS TO BE UL LISTED AND APPROVED. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL CODES, ORDINANCES AND AMENDMENTS TO THE N.E.C.

2. ALL CEILING AND WALL PENETRATIONS SHALL BE CAULKED/SEALED TO PRESERVE FIRE RATINGS AND WATERPROOF INTEGRITY. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE GOVERNING INSPECTORS FOR EACH PENETRATION, WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING REQUIREMENTS.

3. ALL WIRING SHALL BE COPPER UNLESS NOTED OTHERWISE. INSULATION SHALL BE TYPE XHHW OR THHN/THWN. MINIMUM SIZE IS NO. 12 AWG. ALL WIRE SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED ON THE DRAWINGS, UNDERGROUND CONDUCTORS MUST BE RATED FOR 90 DEGREE C AS DEFINED FOR "WET LOCATION" BY THE N.E.C.

4. ALL CONDUITS TO BE METALLIC ELECTRICAL CONDUIT UNLESS NOTED OTHERWISE ON THE DRAWINGS. MINIMUM SIZE CONDUIT IS 1/2" EMT.

5. THE CONTRACTOR IS TO VERIFY THE CONDITION OF EXISTING INSTALLATIONS BY FIELD INSPECTION. THE CONTRACTOR IS TO PROVIDE ALL MATERIAL AND LABOR NECESSARY FOR A COMPLETE AND FINISHED PROJECT.

6. THE ELECTRICAL CONTRACTOR IS TO VERIFY EXACT LOCATIONS, MOUNTING HEIGHT, AND ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PROVIDED BY OTHERS PRIOR TO ROUGH-IN. THE ELECTRICAL CONTRACTOR IS TO PROVIDE DISCONNECT SWITCHES, CONTACTORS, STARTERS, TRANSFORMERS, AND ALL OTHER DEVICES AS REQUIRED TO PROVIDE A COMPLETE INSTALLATION FOR EACH EQUIPMENT, AND IS TO MAKE FINAL ELECTRICAL CONNECTIONS TO ALL EQUIPMENT.

7. LIGHT FIXTURES TO BE SUSPENDED FROM ROOF SUPPORTING STRUCTURE WITH NOT LESS THAN TWO 12 GAUGE WIRES PER FIXTURE OR FOUR IF NEEDED. THE CONTRACTOR SHALL PROVIDE AND INSTALL ADDITIONAL EXIT SIGNS, EMERGENCY LIGHTS AND NIGHT LIGHTS IF REQUIRED BY THE GOVERNING INSPECTOR. CONTRACTOR TO PROVIDE SEISMIC BRACING TO COMPLY WITH CURRENT CODE.

8. ALL LIGHT FIXTURES, RECEPTACLES AND JUNCTION BOXES, PANEL BOARDS AND ALL OTHER METALLIC ELECTRICAL APPLIANCES AND DEVICES MUST BE GROUNDED AS REQUIRED BY SECTION 250 OF THE N.E.C.

9. LIGHT FIXTURE SUBSTITUTION MUST BE OF EQUAL APPLICATION, SIZE, WEIGHT, AND APPEARANCE.

10. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE. ALL ELECTRICAL WORK REQUIRING AN OUTAGE SHALL BE COORDINATED WITH THE OWNER AND THE SERVING UTILITY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY ELECTRICAL EQUIPMENT REQUIRED TO MAINTAIN CONTINUOUS OPERATION OF EMERGENCY AND/OR FIRE ALARM SYSTEMS.

11. MATERIALS & INSTALLATION SHALL COMPLY WITH REQUIREMENTS FOR INSTALLATION IN SEISMIC ZONE 4/CATEGORY D.

ELECTRICAL SPECIFICATIONS

FURNISH AND INSTALL, INCLUDING LABOR, SUPERVISION, MATERIALS, TOOLS, SERVICES, TRANSPORTATION, OVERHEAD COSTS, FEES, PLAN CHECK FEES, INSPECTION CHARGES, ROYALTIES, PROFITS, A COMPLETE ELECTRICAL INSTALLATION AS SPECIFIED HEREIN AND INDICATED ON THE ELECTRICAL DRAWINGS. PERFORM WORK IN AN APPROVED, NEAT, FIRST CLASS, SAFE, WORKMANSHIP MANNER THAT COMPLIES WITH ALL APPLICABLE LOCAL, STATE, FEDERAL, AND SERVICING ELECTRICAL AND TELEPHONE UTILITIES, CODES, ORDINANCES, RULES, REGULATIONS, STANDARDS, ETC. THE ENTIRE ELECTRICAL INSTALLATION SHALL COMPLY WITH OR SURPASS THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE AND OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

ALL MATERIALS AND EQUIPMENT FURNISHED BY THE ELECTRICAL CONTRACTOR SHALL BE NEW OF FIRST-CLASS QUALITY UNLESS NOTED OTHERWISE, FREE FROM DEFECTS AND CONFORM TO UNDERWRITERS LABORATORIES INC STANDARDS AND BE SO LABELED. MATERIALS, EQUIPMENT NOT INDICATED OR DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR A SUCCESSFUL AND EFFICIENT COMPLETION OF THE ELECTRICAL INSTALLATION SHALL BE HELD TO BE IMPLIED AND SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST. ENCLOSURES FOR ALL EQUIPMENT SHALL BE SUITABLE FOR USE INTENDED, AS WATERPROOF FOR EXTERIOR AND WET LOCATIONS. ALL EQUIPMENT SHALL BE RATED FOR USE INTENDED LIKE VOLTAGE, HORSE POWER, RATING OF DISCONNECT SWITCHES, ETC.
INCLUDE AND PAY AS DIRECTED ALL COSTS FOR SERVING ELECTRICAL AND TELEPHONE UTILITIES CHARGES, INCLUDING ALL ADDITIONAL WORK AND MATERIALS REQUIRED TO PROVIDE COMPLETE ELECTRICAL AND TELEPHONE SERVICE TO THIS PROJECT.

MATERIALS AND EQUIPMENT INCLUDING THOSE FURNISHED BY OTHERS, THAT ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR SHALL BE RECEIVED AND PROPERLY PROTECTED BY THE CONTRACTOR UNTIL ENTIRE INSTALLATION IS COMPLETE.

MAKE NO INSTALLATION OF WORK WHICH WOULD LEAVE INADEQUATE OPERATION OR SERVICING SPACE FOR ANY ITEM FOR THE ENTIRE PROJECT. DRAWINGS ARE NOT INTENDED TO SHOW IN DETAIL ALL FEATURES OF WORK. CHECK LOCATION AT ELECTRICAL WORK TO DETERMINE IN ADVANCE THAT IT CLEARS ALL OPENINGS, STRUCTURAL MEMBERS, ETC. WHERE CONTRACT DOCUMENTS, FOR EXAMPLE DRAWINGS AND SPECIFICATION, DO NOT MEET WITH MINIMUM CODES, THE CONTRACTOR SHALL INSTALL ALL THE MINIMUM CODE REQUIRED MATERIALS AND EQUIPMENT AT NO ADDITIONAL COST.

ALL WIRING SHALL BE INSTALLED IN APPROVED RACE-WAYS IF REQUIRED BY CODES. RACE-WAYS SHALL BE APPROVED FOR USE INTENDED. ALL ELECTRICAL CONDUCTORS SHOWN ARE 600 V. COPPER, MINIMUM SIZE CONDUCTOR IS NO. 12 AWG, AND AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER, AS APPLICABLE. ALL CONDUITS SHALL BE INSTALLED CONCEALED UNLESS NOTED OTHERWISE. FURNISH AND INSTALL ALL LIGHT FIXTURES COMPLETE WITH LAMPS AND ACCESSORIES. INSTALL SYMMETRICAL AND PLUMB. CLEAN LENSES AND/OR REFLECTORS AT COMPLETION. PROVIDE PANEL BOARDS WITH FULL SIZED BREAKERS AND COPPER BUSSING. LABEL EQUIPMENT AND WIRING PER N.E.C. LABEL EQUIPMENT WITH MICARTA TAGS, ½" ENGRAVED LETTERS. PROVIDE TYPED PANEL DIRECTORIES AND IDENTIFY ALL CIRCUITS AND SPACES.

THE CONTRACT IS TO INCLUDE ALL CONTINGENCIES WHICH MAY ARISE AND WHICH MAY BE REQUIRED TO MAKE A COMPLETE ELECTRICAL SYSTEM.

THE ELECTRICAL CONTRACTORS SHALL VISIT SITE AND DETERMINE EXTENT OF THE WORK. AT COMPLETION OF ELECTRICAL INSTALLATION, PROVIDE OWNER WITH ACCURATE AS-BUILT DRAWINGS INDICATING ALL VARIATIONS FROM CONTRACT DRAWINGS, AND A LETTER TO THE OWNER'S REPRESENTATIVE STATING PROJECT FULLY COMPLIES WITH ALL CONTRACT DOCUMENTS AND IF NOT, HOW INSTALLATION WAS ACCOMPLISHED. ALL CHANGES SHALL BE SUBJECT TO OWNER'S REPRESENTATIVE'S APPROVAL.

PROVIDE NECESSARY LABOR, TOOLS, EQUIPMENT, AS VOLTMETER, AMMETER, AND CHECK ENTIRE ELECTRICAL SYSTEM IN THE PRESENCE OF THE OWNER REPRESENTATIVE. ALL TESTING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.

SEE OWNERS OUTLINE SPECIFICATIONS FOR ADDITIONAL ELECTRICAL REQUIREMENTS AND STANDARDS OF QUALITY.

ELECTRICAL SYMBOLS & LIGHTING SPECS:

- PANELBOARD. IF NEW, MOUNT AT +6'-8" TO TOP. FOR NEW FLUSH MOUNTED PANELS STUB (2) SPARE 3/4" CONDUITS INTO ACCESSIBLE SPACE ABOVE THE CEILING.
- HOMERUN TO PANELBOARD OR AS NOTED. ONE ARROW INDICATED SINGLE PHASE, TWO ARROWS INDICATE TWO PHASES, AND THREE ARROWS INDICATE THREE PHASE. ONE CONDUCTOR PER PHASE INCLUDING NEUTRAL AND GROUNDING CONDUCTOR AS PER NEC.
- (J) JUNCTION BOX, MOUNT AS SHOWN.
- (PC) PHOTOCELL.

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ochoac on behalf of the Building Official 02/15/2023 10:50:06 AM

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JSEE JS ELECTRICAL ENGINEERING, LLC
JOSE ELIZARRARAS, P.E.
ELECTRICAL ENGINEER
4885 W. 20th Place, Yuma,AZ 85364
Cell. (928) 941-4092
Email. joseec74@yahoo.com

VEGA VEGA ENGINEERING PLLC
2619 S. AVE. 2 ½ E. STE. 3 928-329-0000 TEL
YUMA, AZ. 85365 928-247-6232 FAX
VnV@vegaVvega.com

ELECTRICAL SITE PLAN
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Electrical) CERTIFICATE NO. 43550 JOSE J. ELIZARRARAS Date Signed 12/08/2022 ARIZONA, U.S.A.

Expires 12/31/2023

Notes:

Scale: As Shown	Date:DEC. 2022
Drawn: AD	Job #:N/A
Design: JS	

Sheet

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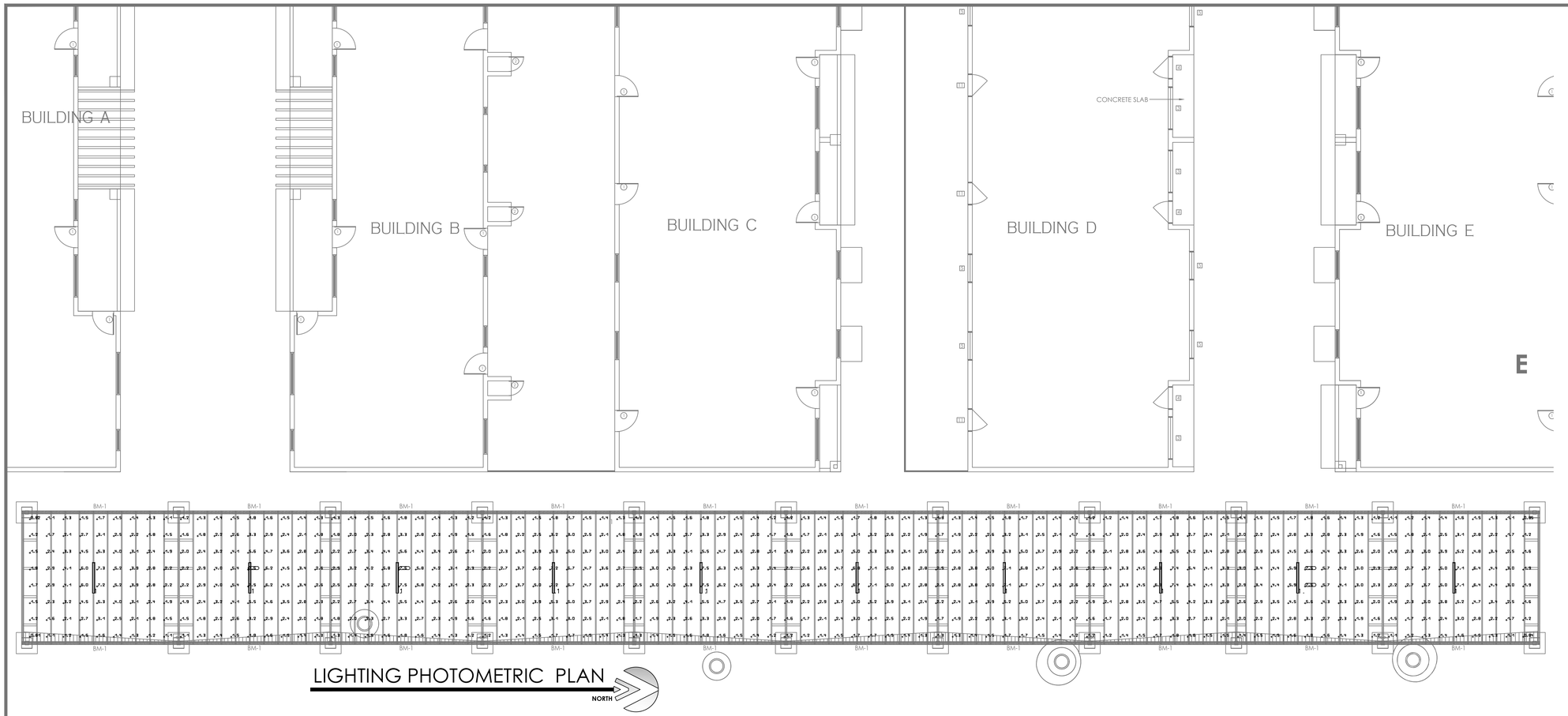


LIGHTING PHOTOMETRIC PLAN

NORTH

Luminaire list (Site 1)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
1	COLUMBIA	Narrow-Width 4' Linear E&G LED w/ Ribbed Frosted Acrylic Lens	LXEN4-30XW-R FA-EDU	1x	1996 lm	0.80	17.6 W	10

#	Name	Parameter	Min	Max	Average	Min/average	Min/max
1	Working plane (Outdoor space 4)	Perpendicular illuminance (Adaptive)	0.49 fc	7.84 fc	2.80 fc	0.174	0.062
2	Working plane (Outdoor space 3)	Perpendicular illuminance (Adaptive)	0.016 fc	1.24 fc	0.33 fc	0.049	0.013

Panel Name: BH

Ckt No	Poles	Description	Wire	CB	Phase	CB	Wire	Description	Poles	Ckt No
1	1	OUT DOOR LIGHTING	10	20	A			SPACE		2
3		SPACE				B		SPACE		4
5		SPACE			A			SPACE		6
7		SPACE				B		SPACE		8
9		SPACE			A			SPACE		10
11		SPACE				B		SPACE		12

Feed From: SES — **Mounting: SURFACE**
Voltage: 240-120V/1Ph/60Hz — **Nema Rating: 3R**
Bus Amps: 30 Amps
MCB: MLO
Type: Branch Circuits
Minimum KAIC: 22,000
System: Normal

Notes:

NOTE: SEE LOAD SUMARY FOR
FOR PANEL AND EQUIPMENT LOADS
VERIFY CONNECTED LOADS
DOES NOT OVERLOAD PANEL

RESIDENTIAL CALCULATION FOR EXISTING SERVICE PER NEC 220.82

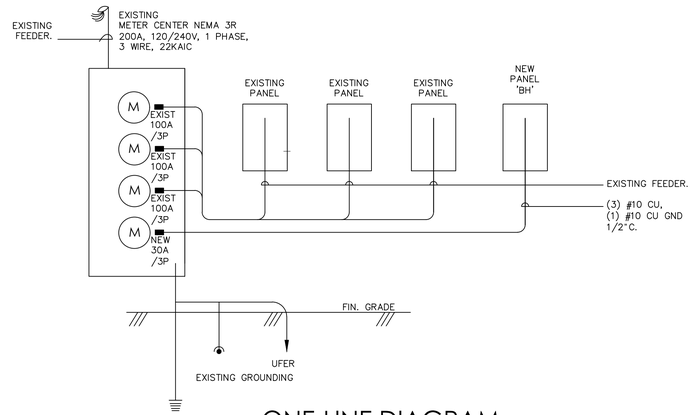
EXISTING UNITS		'B1 TO B3'
AREA	=	460 SF
3 VA/SF	=	1,380
SMALL APPLIANCES	=	3,000
REFRIGERATOR	=	1,200
MICROWAVE	=	1,500
HOOD	=	300
GARBAGE DISPOSAL	=	1,500
LOUNDRY	=	1,500
CLOTHES DRYER (GAS)	=	1,500
SUBTOTAL		
10KW @ 100%	=	10,000
REM @ 40%	=	752
SUBTOTAL	=	10,752
AC*	=	5,280
TOTAL	=	16,032
AMPS @ 240V, 1PH	=	66.8

* INCLUDES FAN COIL &
HEAT PUMP LOADS

SERVICE CALCULATION FOR EXISTING SERVICE

EXISTING BUILDING		'1'
UNIT B	=	3
TOTAL AREA	=	1,380
SMALL APPLIANCES	=	9,000
LIGHTING @ 3VA/SF	=	8,250
REFRIGERATOR	=	3,600
MICROWAVE	=	4,500
HOOD	=	900
GARBAGE DISPOSAL	=	4,500
LOUNDRY	=	4,500
CLOTHES DRYER (GAS)	=	4,500
AC*	=	15,840
SUBTOTAL	=	56,970
@ % **	=	0.43=24,497
NEW PANEL HP	=	146
TOTAL	=	24,643
AMPS @ 240V, 1PH	=	102.6
SERVICE AMPS	=	200

* INCLUDES FAN COIL & 125% HEAT PUMP LOADS
** PER NEC 220.84



ONE-LINE DIAGRAM

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LIGHTING PHOTOMETRIC PLAN
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

Registered Professional Engineer (Electrical) CERTIFICATE NO. 43554 JOSE S. ELIZARRARAS Date Signed 12/08/2022 ARIZONA, U.S.A.

Expires 12/31/2023

Notes:

Scale: As Shown | Date:DEC. 2022
Drawn: AD | Job #:N/A
Design: JS.

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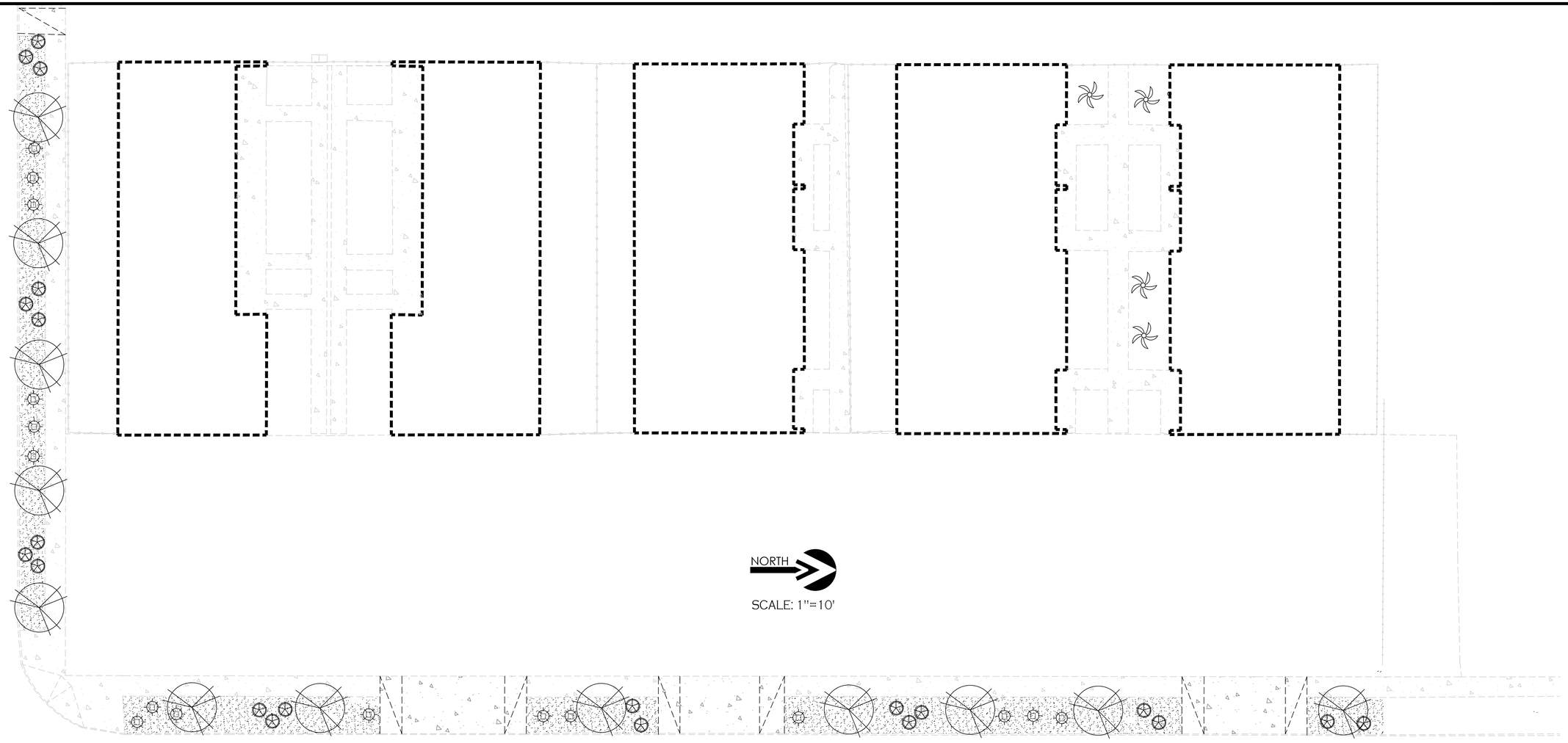

PLANT LEGEND

TREES

	COMMON NAME	BOTANICAL NAME	SIZE
	TEXAS MOUNTAIN LAUREL	SOPHORA SECUNDIFLORA	24" BOX

SHRUBS

	COMMON NAME	BOTANICAL NAME	
	BUSH MORNING GLLORY	CONVOLVULUSIS CNEORUM	5 GALLON
	PINK MUHLY	MUHLENBERGIA CAPILLARIS	5 GALLON

HARDSCAPES

	DECOMPOSED GRANITE
	3/4" Mohawk Brown

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Streetscape Landscaping & Irrigation

Arizona Ave. & 20th Street Apartment Complex

HOUSING AUTHORITY OF THE CITY OF YUMA

Notes:

Scale: 1" = 10' | Date: DEC 2022

Drawn: STAFF | Job #: VnV22-100

Revised: Vna

Sheet

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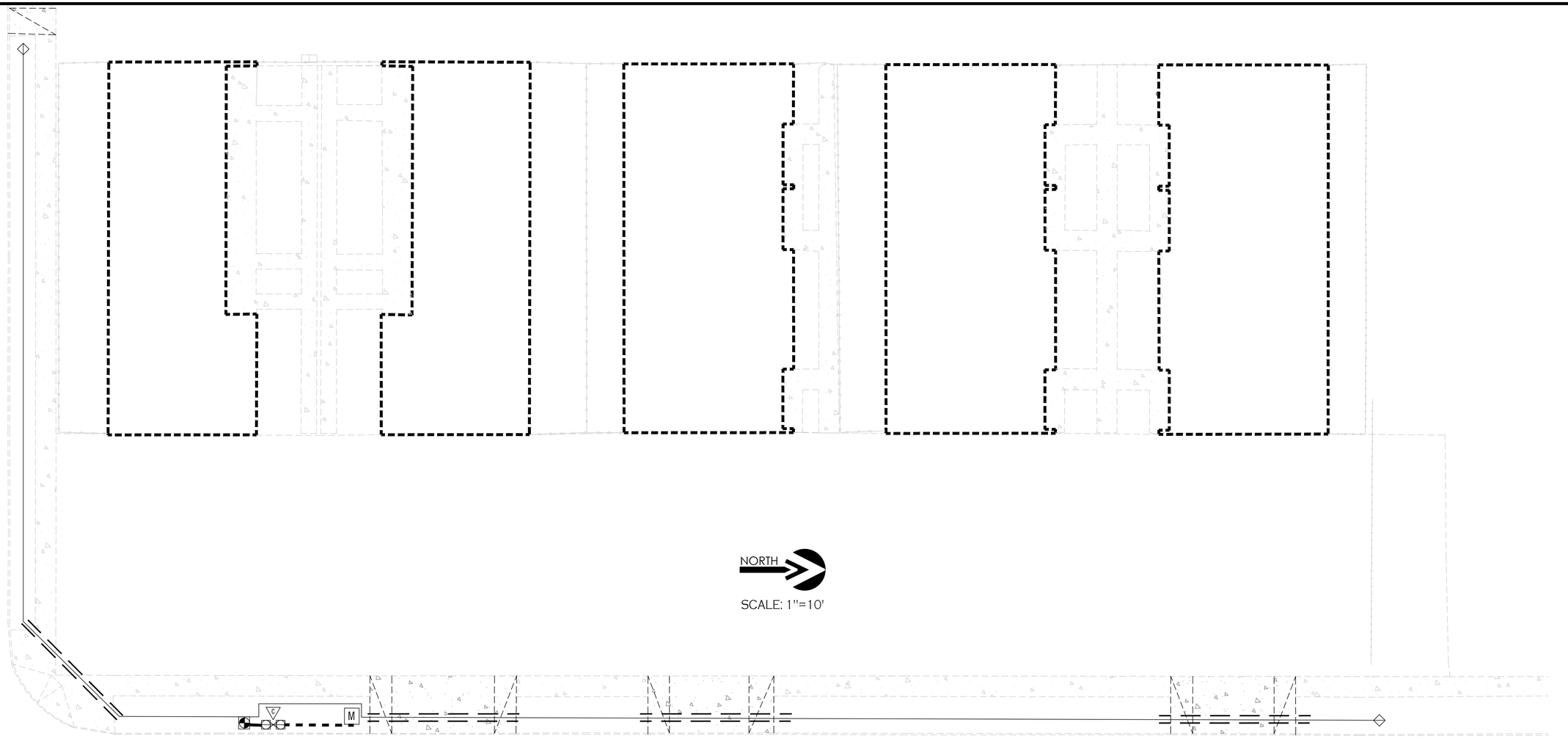


IRRIGATION LEGEND

SYMB	SYMB	DESCRIPTION	MANUFACTURER	MODEL
	M	WATER METER(EXISTING)	BY OTHERS	3/4" MINIMUM
		BACK FLOW PREVENTER	FEBCO	765EFB
		WITH SLAB & ENCLOSURE	GAURDSHACK	GS-SERIES
	C	LIET SOLAR	4000	18 XR SERIES
		DRIP VALVE ASSEMBLY	SEE DETAILS	
		PVC BALL VALVE	SPEARS	PVC
		ELECTRIC VALVE	HUNTER	ICV
		VALVE BOX	CARSON	STANDARD
		FLUSH	SPEARS	GREEN TURF/TAN D.G.
		PVC MAINLINE	CRESLINE OR EQUAL	SCHEDULE 40
		PVC SLEEVE	CRESLINE OR EQUAL	SCHEDULE 40
		PVC DRIP LATERAL	CRESLINE OR EQUAL	3/4" CL. 200

IRRIGATION NOTES

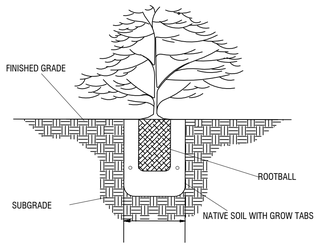
1. CONTRACTOR RESPONSIBLE FOR FULL AND EFFICIENT COVERAGE
2. VERIFY PRESSURE BEFORE LAY OUT
3. DRIP VALVE LOCATIONS ARE ONLY APPROXIMATE
4. DRIP VALVES NOT TO EXCEED 6 GPM
5. DRAWN FOR CLARITY ALL IRRIGATION TO BE INSTALLED IN LANDSCAPE AREA
6. ALL SCH 40 SLEEVES
7. ALL SLEEVES TO HAVE 18" COVER MINIMUM
8. IF BACKFILL MATERIAL HAS DEBRIS LARGER THAN 1" SHADE WITH MORTAR SAND 4" ABOVE 4" BELOW PIPE
9. KEEP DRIP TUBES 1' AWAY FROM CACTUS
10. WATER AND ELECTRICAL POWER SUPPLY BY OTHERS
11. FIELD VERIFY LOCATION BACKFLOW AND CONTROLLER

Streetscape Landscaping & Irrigation
Arizona Ave. & 20th Street Apartment Complex
HOUSING AUTHORITY OF THE CITY OF YUMA

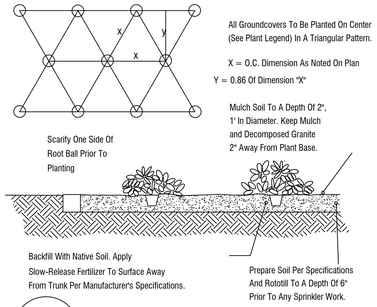
Notes:

Scale: 1" = 10' | Date: DEC 2022
Drawn: STAFF | Job #: VnV22-100
Revised: Vna

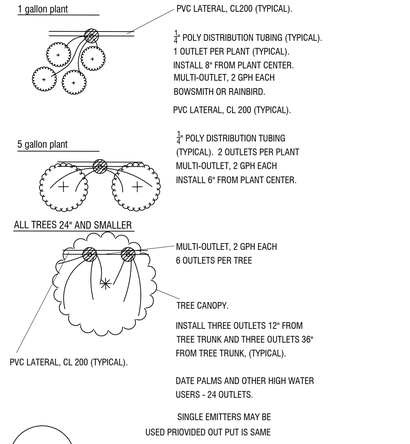
Sheet
L1.2



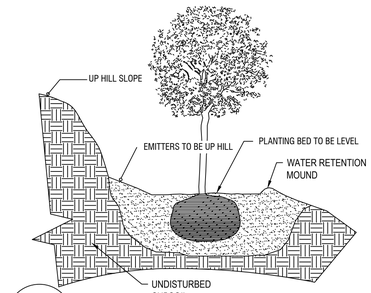
D1 SHRUB PLANTING



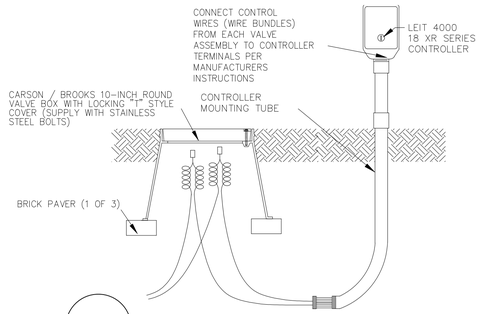
D2 GROUND COVER



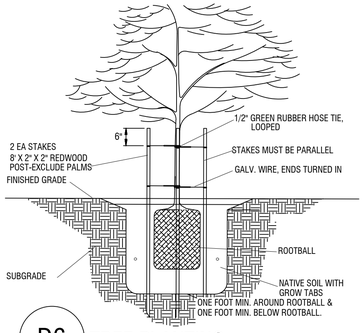
D3 EMITTER PLACEMENT



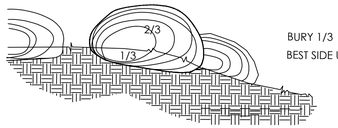
D4 PLANTED ON SLOPE



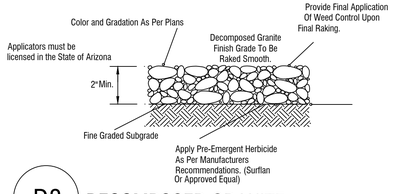
D5 OPTIONALSOLAR CONTROLLER



D6 TREE PLANTING

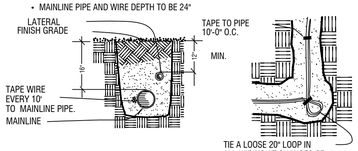


D7 BOULDER INSTALLATION



D8 DECOMPOSED GRANITE

NOTE: • WIRE SHALL BE INSTALLED PER LOCAL CODE.
• TRENCHES TO BE COMPACTED TO MATCH ADJACENT DENSITIES.
• SITE LIGHTING MAY USE COMMON TRENCH.
• MAINLINE PIPE AND WIRE DEPTH TO BE 24"



WHEN ROCKY SOILS ARE ENCOUNTERED, CONTRACTOR SHALL REMOVE ALL ROCK OR DEBRIS GREATER THAN 1" DIA. FROM TRENCHES AND BED PIPE IN SCREENED MATERIAL.|" MINUS DECOMOSED GRANITE OR SAND TO PROTECT PIPE AND WIRING (6" MINIMUM DEPTH).

D9 PIPE AND WIRE TRENCHING

size (pipe)	class	gpm	sleeve size
1/2"	SCH 40	0-5	2"
3/4"	SCH 40	6-10	2"
1"	SCH 40	11-15	2"
1-1/4"	SCH 40	16-25	3"
1-1/2"	SCH 40	26-35	3"
2"	SCH 40	36-50	4"
2-1/2"	CL160	51-75	6"
3"	CL160	76-100	6"
4"	CL160	101-190	10"
WIRING	SCH 40	1-26 WIRES	2" MIN.

ALL MAINLINE FITTINGS 3" AND LARGER SHALL BE DUCTILE IRON, ALL OTHER MAINLINE FITTINGS SHALL BE SCH. 40.

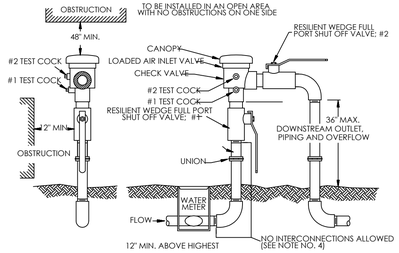
ALL MAINLINE INTERSECTIONS (45 , 90 , ECT.) SHALL HAVE THRUST BLOCKS PER MANUFACTURER'S RECOMMENDATIONS. USE MECHANICAL FITTINGS ON TEES, FOR 3" AND LARGER MAINLINE.

SLEEVE SIZE IS FOR SINGLE PIPE RUNS.

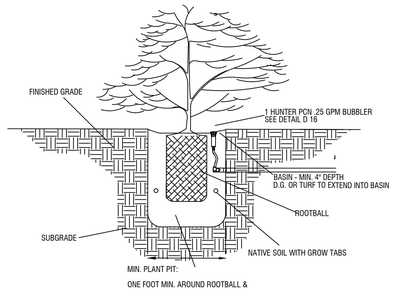
SLEEVE ALL WIRE SEPERATE FROM WATER LINES, UNDER PAVING.

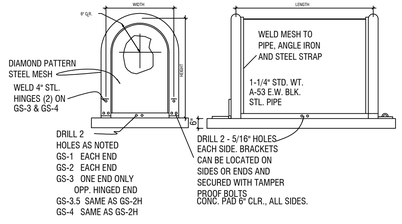
ALL SOLVENT WELD MAINLINE FITTINGS SHALL BE SCHEDULE 40.

D10 PIPE AND SLEEVE SIZING

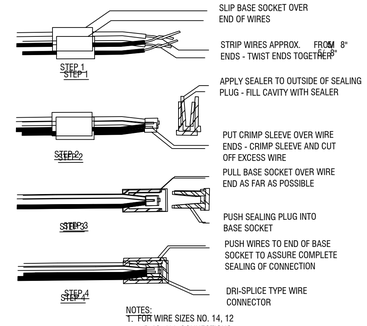


D11 TREE IRRIGATION DETAIL



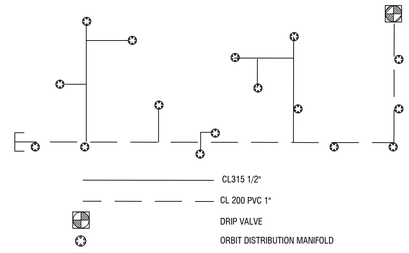


D12 GARDSHACK ENCLOSURE



NOTES:
1. FOR WIRE SIZES NO. 14, 12 AND 10, ALL CONNECTIONS IN VALVE BOXES ONLY.
2. INSTALL SPEARS DS-100 DRI-SPLICE CONNECTORS WITH DS-300 SEALANT.

D13 IRRIGATION WIRE CONNECTIONS



D14 EMITTER PVC PIPE LAY OUT

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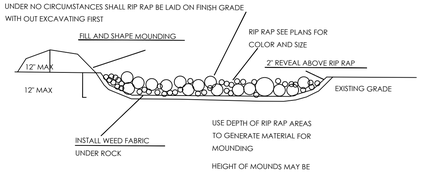
ochoac on behalf of the Building Official 02/15/2023 10:50:06 AM

NOTICE - The Approved set of plans shall be maintained on the construction site at all times during construction

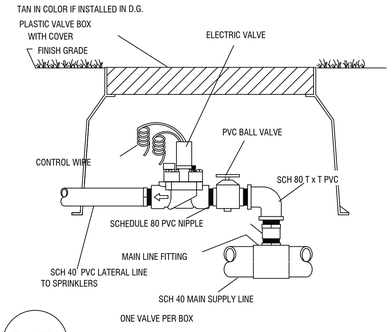
NOTES

1. A permit is required before installing or replacing a backflow assembly. Permits are obtained at the Department of Community Development.
2. A list of approved backflow assemblies are available from the . Utilities Department Pretreatment
3. The P.V.B. shall be installed outside, above ground, as close to the water meter as possible. The P.V.B. shall be located on private property unless otherwise authorized.
4. There shall be no other piping connected to the piping between the water meter and the backflow assembly except for parallel assembly installations.
5. Installations shall meet all current uniform plumbing codes in addition to the City building codes.
6. Installations shall be left exposed until inspected and approved by the City.
7. If this unit is installed to serve a retention basin, this unit shall be placed a minimum of 12" (36" maximum) above the flood rim of the retention basin.
8. Protective cages are optional and will meet clearance, access and drainage requirements.
9. It is recommended that backflow assemblies be protected from the elements. Care shall be taken to ensure that the protection does not hinder the assembly's operation.
10. All backflow units are to be tested by a certified professional prior to final approval. Backflow units shall be tested on an annual basis.
11. The installation of a pressure vacuum breaker assembly can cause a closed system. Consult with the City Building Official for pressure relief valves, thermal expansion or other needed requirements.
12. P.V.B.'s may be maintained under constant pressure and have shutoff valves downstream but there shall be no means of imposing back pressure on the P.V.B. from any other source.
13. P.V.B.'s shall only be approved for irrigation system service protection unless otherwise authorized.

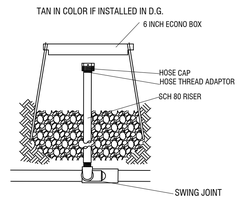
D15 PRESSURE VACUME BREAKER



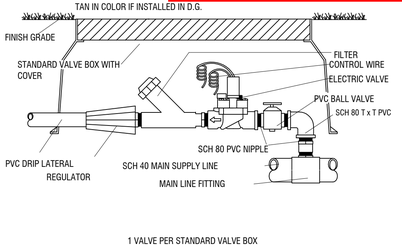
D16 RIP RAP AND MOUNDING



D17 TURF VALVE



D18 FLUSH OUT



D19 DRIP VALVE

Streetscape Landscaping & Irrigation Details
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Notes:

Scale: 1" = 10' Date: DEC 2022
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Revised: Vna

Sheet
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IRRIGATION NOTES

1. CONTRACTOR TO FIELD VERIFY DRAWINGS PRIOR TO ANY INSTALLATION OR ORDERING OF MATERIALS AND NOTIFY SOUTHWEST DREAMWORKS OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE. IF CONTRACTOR FAILS TO NOTIFY SOUTHWEST DREAMWORKS, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY ALTERATIONS TO THE SYSTEM.
2. ALL MATERIALS USED SHALL BE INSTALLED AS PER PLAN AND AS PER MANUFACTURE'S SPECIFICATIONS. ALL DEVIATIONS FROM DRAWINGS OR MATERIALS USED SHALL BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE DESIGNER.
3. IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A STATIC WATER PRESSURE OF 70 PSI.
4. CONTRACTOR TO FIELD VERIFY PRESSURE PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULT SOUTHWEST DREAMWORKS OF ANY DIFFERENCE FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS.
5. CONTRACTOM WILL NOTIFY SOUTHWEST DREAMWORKS IF BOOSTER PUMP IS NEEDED
6. 120 VOLT SERVICE BY ELECTRICAL CONTRACTOR. IRRIGATION CONTRACTOR RESPONSIBLE FOR POWER CONNECTION TO CONTROLLER.
7. ALL CONTROL WIRES TO BE RED, ALL COMMON WIRES TO BE WHITE UNLESS NOTED ON PLANS. ONE SET OF CONTROLLER KEYS TO BE GIVEN TO OWNER.
8. ALL 24 VOLT WIRE SHALL BE #14 UFL, DIRECT BURIAL, SOLID COPPER.
9. IRRIGATION CONTRACTOR RESPONSIBLE FOR ALL LANDSCAPE SLEEVING. CONTRACTOR TO COORDINATE SLEEVING INSTALLATION OF CONCRETE FLATWORK AND PAVING. ALL SLEEVES TO BE EXTENDED AT LEAST 1' BEYOND CONCRETE STRUCTURES.
10. ALL HARDSCAPE 5'-0" OR WIDER TO BE SLEEVED.
11. CONTRACTOR SHALL INSTALL ALL PIPING AND WIRING UNDER PAVED AREAS IN SLEEVES AS SHOWN ON PLANS. ALL WIRE SHALL BE SLEEVED SEPARATELY FROM PIPING.
12. IRRIGATION CONTRACTOR TO VERIFY EXISTING SLEEVES (SHOWN ON IRRIGATION PLAN) INSTALLED BY OTHER CONTRACTORS. COORDINATE INSTALLATION OF ADDITIONAL SLEEVES WITH GENERAL CONTRACTOR.
13. ALL IRRIGATION EQUIPMENT TO BE LOCATED IN LANDSCAPED AREAS (SOME LINES AND EQUIPMENT ARE SCHEMATIC ONLY).
14. LOCATE VALVE BOXES IN DECOMPOSED GRANITE NOT IN TURF, ADJACENT TO WALKWAYS AND CURBS WHENEVER POSSIBLE.
15. ALL PLANTS REQUIRING MORE THAN ONE DRIP EMITTER SHALL HAVE EMITTERS DISTRIBUTED EVENLY AROUND EDGE OF ROOTBALL, WITHIN PLANT BASIN. UNLESS NOTED ON PLANS
16. EMITTERS TO BE PLACED ON UP HILL SIDE OF PLANTS ON SLOPED PLANTING AREAS.
17. PRIOR TO OWNER APPROVAL, CONTRACTOR SHALL COMPLETE THE FOLLOWING: ALL IRRIGATION HEADS TO BE ADJUSTED TO THE PROPER HEIGHT. ALL SPRAY HEADS TO BE FLUSHED OF DEBRIS AND FLOW CONTROLS ADJUSTED TO ACHIEVE PROPER COVERAGE. AVOID SPRAY ON ALL HARDSCAPE AND STRUCTURES.
18. IRRIGATION CONTRACTOR SHALL PROVIDE 100% HEAD TO HEAD COVERAGE IN ALL TURF AREAS AT NO ADDITIONAL COST TO THE OWNER. FIELD ADJUST HEAD LOCATIONS AS REQUIRED. ACTUAL SITE CONDITIONS MAY VARY FROM DRAWINGS AND NECESSITATE ADJUSTMENT OF HEAD LAYOUT, AREA, NOZZLE OR QUANTITIES OF HEADS.
19. CONTRACTOR SHALL ADJUST THE PERFORMANCE OF THE IRRIGATION SYSTEM FOR OPTIMUM PLANT GROWTH BASED ON ACTUAL SITE CONDITIONS, INCLUDING SOIL TYPES, SLOPE OR OTHER VARIABLES THAT MAY DEVIATE FROM PROJECT PLANS. CONTACT SOUTHWEST DREAMWORKS OF ANY DISCREPANCIES BETWEEN PROJECT PLANS AND ACTUAL SITE CONDITION PRIOR TO INSTALLATION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE INSTALLATION OF THE FULLY AUTOMATED IRRIGATION SYSTEM PRIOR TO STARTING PLANTING. IF THE IRRIGATION SYSTEM IS INTERRUPTED FOR ANY REASON THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTINUE MANUAL WATERING OF ALL PLANT MATERIAL UNTIL THE IRRIGATION SYSTEM IS FULLY OPERATIVE.
21. THE CONTRACTOR SHALL PROVIDE, INSTALL AND HAVE TESTED ALL CONNECTIONS 20. DOWN STREAM OF THE WATER METER AND BACKFLOW PREVENTER.
22. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPING NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL IRRIGATION SYSTEM INCLUDING ALL SUB-LATERAL PIPING TO EACH PLANT EMITTER AS SPECIFIED AND DETAILED WHETHER OR NOT PIPING IS SHOWN ON PLANS.
23. REFER TO GENERAL CONSTRUCTION NOTES ON COVER SHEET FOR ADDITIONAL CONSIDERATIONS THAT RELATE TO SCOPE OF WORK WITHIN THIS SECTION. POSSIBLE ALL ELECTRIC CONTROL VALVES TO BE LOCATED IN SERIES ALONG THE MAIN WATERLINE. ALL VALVES WILL BE IN HEAVY DUTY PLASTIC VALVE BOXES W/LIDS RAISED TO FINISH GRADE. ALL ELECTRIC VALVES SHALL BE BELOW THE SURFACE MIN. 6".
24. ALL SUBMITTALS MUST BE APPROVED BE FOR CONSTRUCTION BEGINS

LANDSCAPE NOTES

1. LANDSCAPE AREAS ARE DEFINED AS ALL NON-PAVED AREAS DISTURBED BY THIS PHASE OF CONSTRUCTION. SLIGHT VARIATIONS MAY EXIST BETWEEN ON-SITE CONDITIONS AND DRAWINGS. CONTRACTOR SHALL ADJUST PLANTING LAYOUT ONLY AS REQUIRED TO MAINTAIN PLANT QUANTITIES AND DESIGN INTENT.
2. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
3. LOCATE PLANTS AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, AND LIGHT FIXTURES.
4. ALL PLANT MATERIAL SHALL MEET A.N.A. SPECIFICATIONS. THE LANDSCAPE DESIGNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS DEEMED UNACCEPTABLE.
5. DOUBLE STAKE ALL SUPPLEMENTAL BOX TREES OUTSIDE ROOTBALL, SEE TREE STAKING DETAIL.
6. TREES SHALL BE A MINIMUM OF 4' FROM CURB , SHRUBS SHALL BE 3' OR MORE AWAY FROM CURBS OR WALKS. REFER TO PLANS AND MAINTAIN SHRUB MASSINGS AS SHOWN AWAY FROM HARDSCAPE.
7. PLANT LOCATIONS SHALL BE FLAGGED OR STAKED FOR REVIEW PRIOR TO STARTING IRRIGATION OR PLANTING EXCAVATION. MINOR RELOCATION'S SHALL BE MADE AT THIS TIME TO AVOID UNSUITABLE CONDITIONS.
8. NATIVE GRANULAR SOILS SHALL BE FINE GRADED AS TOPDRESSING AND RAKED UNIFORMLY ALONG CURBS, WALKS AND WALLS.
9. CONTRACTOR SHALL APPLY PRE-EMERGENT HERBICIDE (TREFLANS OR APPROVED EQUAL) IN ALL AREAS NOT CONTAINING BERMUDA GRASS, PER MANUFACTURERS RECOMMENDATION. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO APPLICATION OF HERBICIDE.
10. ALL PLANTING SHALL CONFORM TO THE HEIGHT REQUIREMENTS SPECIFIED FOR SIGHT VISIBILITY TRIANGLES. REFER TO C.O./ STANDARDS FOR SPECIFIED REQUIREMENTS. WHERE MULTIPLE JURISDICTION EXIST, THE MOST RESTRICTIVE SHALL APPLY.
11. GRADE NOTED ON LANDSCAPE PLAN TO BE FIELD VERIFIED/APPROVED BY OWNER'S REPRESENTATIVE BEFORE LANDSCAPE BEGINS CONSTRUCTION.
12. FEATHER AND BLEND GRADE BETWEEN CONSTRUCTION AND NATIVE AREAS FOR SMOOTH TRANSITION.
13, REVIEW SALVAGE NATIVE PLANT MATERIAL INVENTORY PRIOR TO BEGINNING WORK TO VERIFY RESPONSIBILITY OF RELOCATION AND WARRANTY.
14. SAGUARO SHALL BE PLANTED TO THEIR ORIGINAL SOLAR ORIENTATION WITH (2) DRIP EMITTERS (SEE DETAIL). SAGUARO SHALL BE PLANTED STRAIGHT AND DEEP ENOUGH TO REQUIRE NO BRACING. RETURN TAGS TO OWNER.
15. NATIVE SALVAGED SAGUAROS SHALL BE PROTECTED FROM INJURY DURING TRANSPLANT AND SHALL BE WARRANTED FOR 6 MONTHS FROM FINAL ACCEPTANCE.
16. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS
17. REFER TO GENERAL CONSTRUCTION NOTES BELOW FOR ADDITIONAL CONSIDERATIONS THAT RELATE TO SCOPE OF WORK WITHIN THIS SECTION.
18. HYDROSEED GRASS FOR NORMAL APPLICATION WITH TACKIFIER AND PAPER MULCH. A BRYLION TYPE SEEDER MAY BE USED. SEED 3LBS/ 1,000 SQ. FT. OF HYBRID BERMUDA. IF PLANTING OCCURS BETWEEN OCTOBER 1, AND MAY 1, USE 15 POUNDS OF WINTER RYE SEED/ 1,000 SQ. FT. FOR FOR SMALLER AREAS HAND RAKE AND COVER WITH 1/2" MULCH USE A GOOD PRE PLANT FERTILIZER, (16-20-20)
19. LANDSCAPE CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO DELIVERY.

MAINTENANCE AND GUARANTEE

1. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER OR OWNER'S REPRESENTATIVE FOUR (4) DAYS PRIOR TO COMPLETING IMPROVEMENTS IN ACCORDANCE WITH PLANS AND SPECIFICATIONS TO REQUEST AN INSPECTION FOR SUBSTANTIAL COMPLETION. LANDSCAPE DESIGNER OR OWNER'S REP. SHALL PREPARE PUNCHLIST OF ALL WORK REQUIRING CORRECTION. MAINTENANCE PERIOD TO BEGIN WHEN ALL PUNCHLIST ITEMS ARE CORRECTED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING LANDSCAPE AREA FOR 30 CALENDAR DAYS OR AS SPECIFIED BY CONTRACT. MAINTENANCE INCLUDES ADJUSTING WATER SCHEDULES, WEEDING, REMOVING DEBRIS FROM LANDSCAPE, RAKING, SPRAYING, FERTILIZING, TRIMMING, OR OTHER OPERATIONS ESSENTIAL FOR CARE, UPKEEP AND PROJECT APPEARANCE.
3. CONTRACTOR SHALL NOTIFY OWNER A MINIMUM OF ONE (1) WEEK PRIOR TO MAINTENANCE PERIOD END TO RESOLVE ANY OUTSTANDING ISSUES. A FINAL INSPECTION SHALL OCCUR TO REVIEW THE PROJECT AND ISSUE A FINAL ACCEPTANCE. (PROVIDE 7 DAYS NOTICE).
4. PLANTS NOT IN HEALTHY CONDITION THROUGHOUT THE WARRANTY PERIOD CAN BE EXTENDED. WHEN PLANT MATERIAL SHOWS SOME LIFE, THE WARRANTEE PERIOD SHALL END.
5. PROVIDE ONE YEAR(FROM ACCEPTANCE DATE) WARRANTY FOR THE IRRIGATION SYSTEM.

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Specifications/Notes
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